



CITY OF CLEVELAND  
Mayor Justin M. Bibb

2025 City of Cleveland

# Landmarks Commission

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*February 27<sup>th</sup>, 2025*

Julie Trott, Commission Chair  
Daniel Musson, Secretary





CITY OF CLEVELAND  
Mayor Justin M. Bibb

# Certificates of Appropriateness

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*February 27<sup>th</sup>, 2025*





# Case 24-073

Certificate of Appropriateness

Broadway Avenue Historic District

5416 Broadway Avenue

**Demolition**

Project Representatives: Krystal Sierra, Slavic Village Development

Ward 5: Councilmember Starr

Tabled September 12,  
2024

**CITY** of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CLEVELAND LANDMARKS COMMISSION



# SLAVIC VILLAGE



Proposed Demolition: 5416 Broadway Avenue  
Landmarks Presentation  
February 27th, 2025

# 5416 Broadway Avenue

Proposed Demolition



SLAVIC VILLAGE

# 5416 Broadway Avenue





# 5416 Broadway Avenue

## Proposed Demolition

**Demolition:** SVD seeks approval to demolish this two (2) story retail structure. Structure was built in 1890 with additions built in 1900 and 1946.

**Current Owner:** Slavic Village Development

**Vacant:** Yes

**Complaints:** The City has received twenty-one (21) formal complaints since 2008.

**Board-ups:** The City has boarded up this property eight (8) times; CCLRC has boarded one (1) time; SVD has boarded up two (2) times.

**Current Taxes:** \$2,492.46



# 5416 Broadway Avenue

## Background

- Abandoned retail building located at the intersection of 5416 Broadway Ave. Cleveland, OH 44127. Built in 1890 with additions in 1900 and 1946.
- Deceased building owner, vacant & abandoned *since prior to 2016*.
- **2019 foreclosure** - family members of the deceased were not properly notified – the property goes back into foreclosure.
- **2020 Covid** - property remains vacant & continues to be destroyed by weather & vandals.
- **April 2021** - property goes to sheriff sale, no bids - CLRC acquires the building, passthrough to SVD - SVD to work with a developer to take the property.
- **August 2021-2025 – Eight (8) complaints to City; SVD boarded two (2) times, City boarded three (3) times, CCLRC boarded one (1) time.**
- **October 2023** - CCLRC puts property on their demo list for state funds.
- **August 2024** – CCLRC notifies of state funds.
- **Sept 2024** - SVD presents demo to **Central Southeast Design Review & Landmarks** – CSDR recommends demolition, Landmarks requests renovation vs demolition analysis, also requests plan to protect adjacent structure, historic salvage, & temporary use to include no parking.
- **Feb 6th, 2025 – City orders demolition.**
- Recent investments in the district:
  - Carnegie Library at 5437 Broadway (Broadway-E. 55th Historic District) - \$500k rehab, now "The Darl Center for the Arts"
  - 5115 The Rising Phase 1 (Design Review District, north of Historic District)
  - Olympia at 6631 E. 55th (Broadway-E. 55th Historic District) – owners are investing funds to rehab



# 5416 Broadway Avenue

## Asbestos Survey / Ordered Demo Declaration

**Feb 6th, 2025** - City of Cleveland conducts Phase 1 Environmental Assessment, deems interior of structure hazardous & cannot fully complete asbestos survey due to interior collapse - Department of Building & Housing issues ordered demolition Feb 6th, 2025.



City of Cleveland  
Justin M Bibb, Mayor

Department of Building & Housing  
Division of Construction Permitting  
601 Lakeside Avenue, Room 505  
Cleveland, Ohio 44114-1070  
216/664-2910  
www.city.cleveland.oh.us

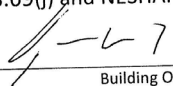
Date: 2-6-25

From: Thomas Vanover, Building Official  
Department of Building and Housing  
City of Cleveland

To: Jun Woo,  
Demolition Bureau Manager  
City of Cleveland

Re: Ordered Demolition

Based on the information provided by the licensed professional survey agency, Emerald Environmental Services, it is my determination that the structure located at **5416 Broadway Ave**, Cleveland, Ohio cannot safely undergo asbestos survey and/or abatement operations due to **Extreme Deterioration causing structural collapse** and so order that it be demolished as an ordered demolition pursuant to COC 3103.09(j) and NESHAP (CFR 61.145)

  
\_\_\_\_\_  
Building Official

2-6-25  
\_\_\_\_\_  
Date

Cc: File  
CBO

An Equal Opportunity Employer







Protection Plan: Adjacent Structures, Sidewalk Fall Protection







Safe Demolition Practices to Protect  
5420 Broadway adjacent walls

5316 Barkwill Ave.  
to Remain Un-Damaged

5416 Broadway  
to be Demolished





**Safe Demolition Practices to Protect  
5316 Barkwill adjacent walls**

5316 Barkwill Ave.  
to Remain Un-Damaged

5416 Broadway  
to be Demolished

5416 Broadway  
to Remain Un-Damaged





# Historic Salvage



PTAK'S front concrete entry





# Temporary Use

Proposed Demolition



Existing Rear Elevation (Barkwill Ct.)



SLAVIC VILLAGE





Install Guardrail  
to Control  
Parking Access

New Greenspace

Temporary Use Plan – proposed view from Barkwill Ct.



# Rehab vs Demolition

- CCLRC Findings
- Brian Taylor, Taylor Companies



February 19, 2025

Subject: Site Review / Structural Evaluation

RE: 5416 Broadway Ave.  
Cleveland, OH 44127

Taylor Companies of Ohio (TCOO) has agreed to provide an inspection to the above mentioned property to provide our professional opinion if the building has potential to be renovated/salvaged to meet today's building standards.

The site was inspected on 2/13/2025 by Nick Szekeres (Estimator/Health & Safety Director w/TCOO) and myself (Brian Taylor, President TCOO). Interior access was provided by Krystal Sierra and a visual inspection of the complete exterior of the building was completed.

Current roofing system appears to have several penetrations/failures over an extended period of time creating areas of rotten framing materials and even complete failure of structural materials including sections of flooring throughout the building.

The current interior finishes have plaster board and pipe wrap materials mixed in the debris with limited to no access for remediation, including no safe access due to building conditions.

The exterior of the building is in very poor condition. No stability or solid structure on (3) of the exterior elevations is visible or able to be confirmed.

**Conclusion:**

Due to the extensive water intrusion, failure of interior and exterior structural building components and the presence of existing health hazards to be remediated with no access would make this property a total loss. The property is recommended to be razed/demolished as soon as possible for health and safety reasons.

Please feel free to contact us with any additional questions or concerns.

Thank you,

A handwritten signature in black ink, appearing to read 'Brian Taylor', is written over a white background.

Brian Taylor, President  
TCOO



*Property Restoration Specialist*

**24 HOUR EMERGENCY SERVICE**

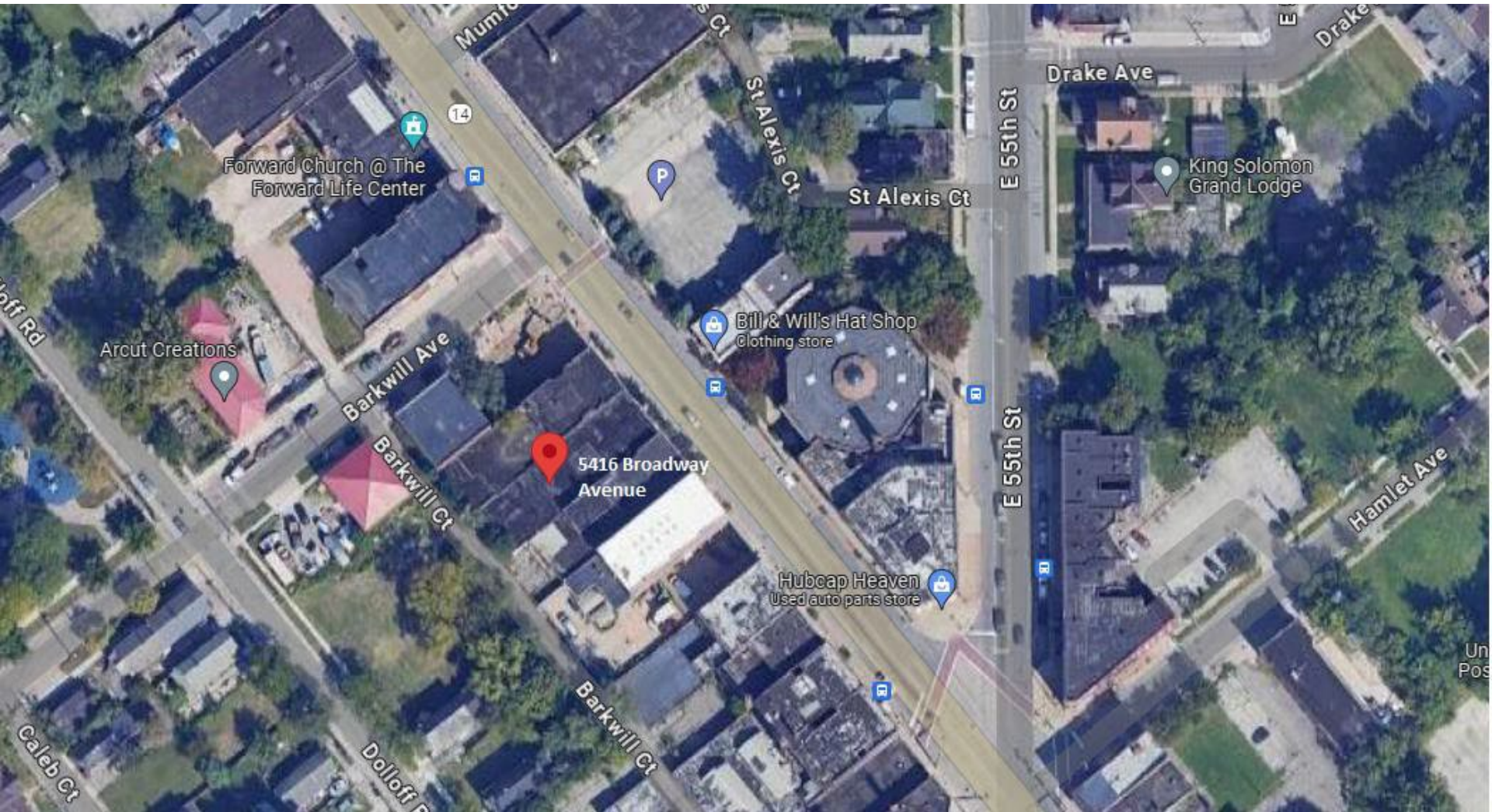
**P: 330-677-8380 | F: 330-677-8390 | 800-324-4311**

**www.taylorcompaniesofohio.com | 4200 Mogadore Road • Kent, Ohio 44240**



**SLAVIC VILLAGE**







# Exterior Photos

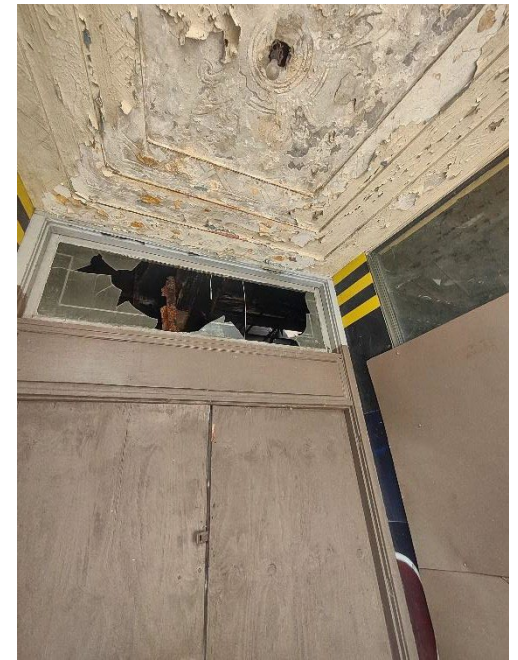
## 5416 Broadway Avenue – Front East Facing



Note falling tree at front entrance







Exterior Photos  
5416 Broadway –  
Front Enclave



# Exterior Photos

## 5416 Broadway Avenue – Side North Facing Wall



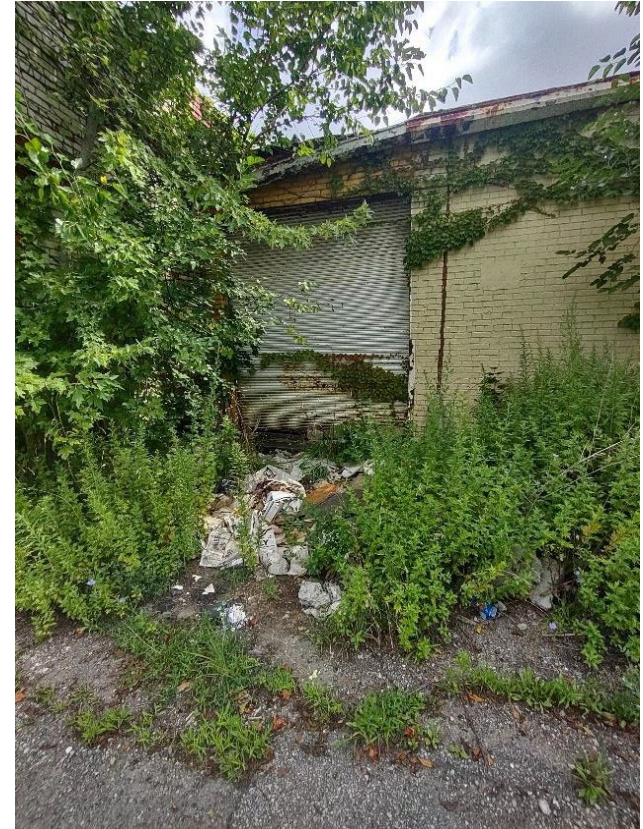


Exterior/ Interior Photos  
5416 Broadway – Side  
North facing abutting wall to 5316 Barkwill





Exterior Photos  
5416 Broadway – Rear  
West Facing





# Interior Photos 5416 Broadway



1st floor deck caving into basement



# Interior Photos 5416 Broadway



Joints not connected to bearing wall



Basement staircase gone





# Interior Photos 5416 Broadway



Basement beam burnt



# Interior Photos 5416 Broadway



Thermal System Insulation (TSI) asbestos scrap



Ducts with asbestos





# Interior Photos

## 5416 Broadway – 1st Floor



# Interior Photos

## 5416 Broadway – 1st Floor





# Interior Photos

## 5416 Broadway – 2nd Floor





## **SLAVIC VILLAGE**

5620 Broadway Avenue  
Suite 200  
Cleveland, OH 44127

P 216 429 1182  
F 216 429 2632

[WWW.SLAVICVILLAGE.ORG](http://WWW.SLAVICVILLAGE.ORG)



City of Cleveland  
Justin M Bibb, Mayor

Department of Building & Housing  
Division of Construction Permitting  
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\_\_\_\_\_  
Building Official

2-6-25  
\_\_\_\_\_  
Date

Cc: File  
CBO



**TAYLOR**  
**COMPANIES**  
— OF OHIO —

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# Case 25-009

Certificate of Appropriateness

St. Ignatius High School

St. Ignatius High School –DiSanto Hall  
1911 West 30<sup>th</sup> Street

## Signage

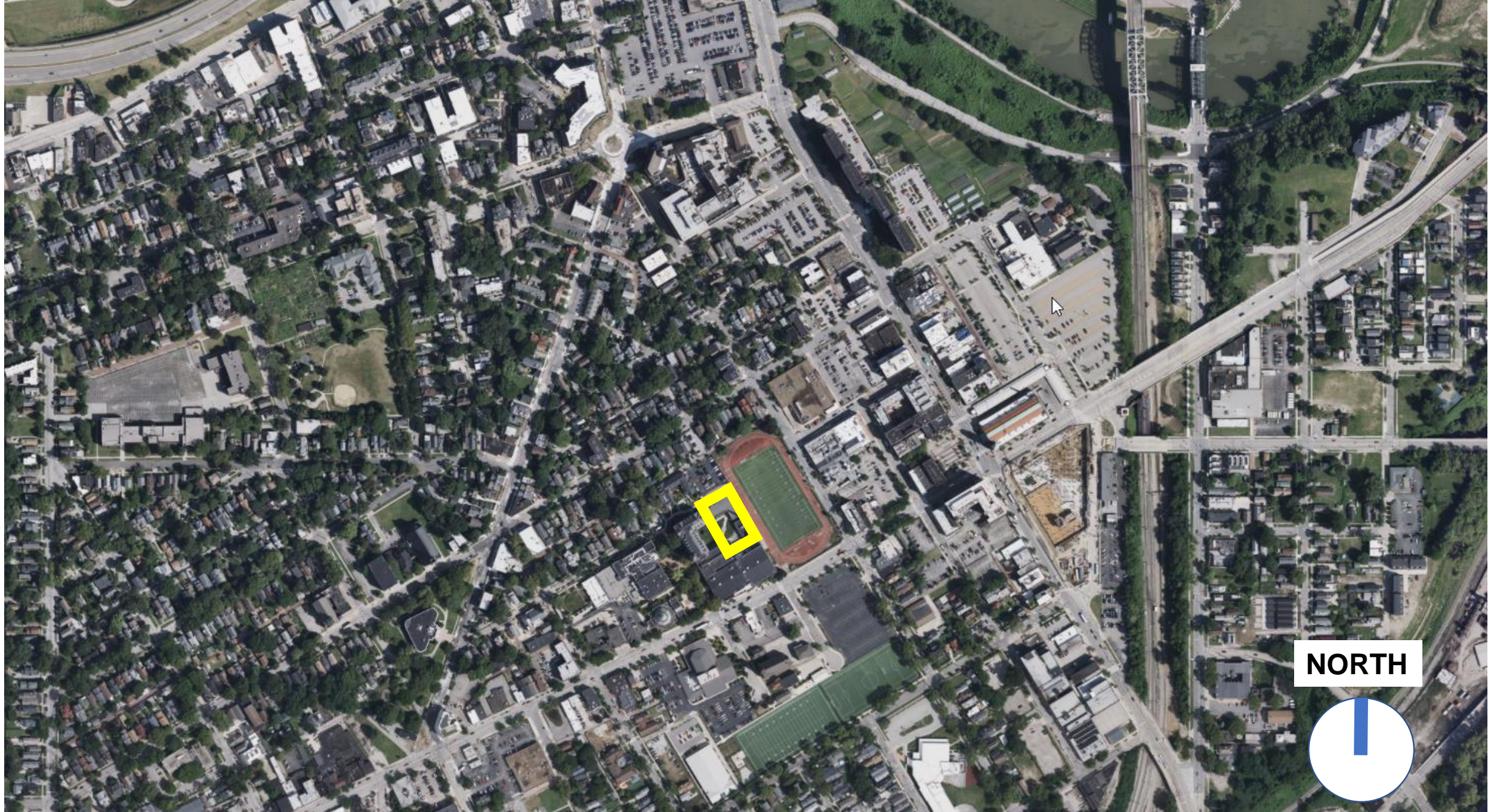
Project Representatives: Richard Klingshirn, St. Ignatius  
Ward 3: Councilmember McCormack



**SAINT IGNATIUS HIGH SCHOOL  
DiSanto Hall Academic Building Signage**

**Ohio City Inc. Design Review  
Landmarks Commission Review  
February, 2025**



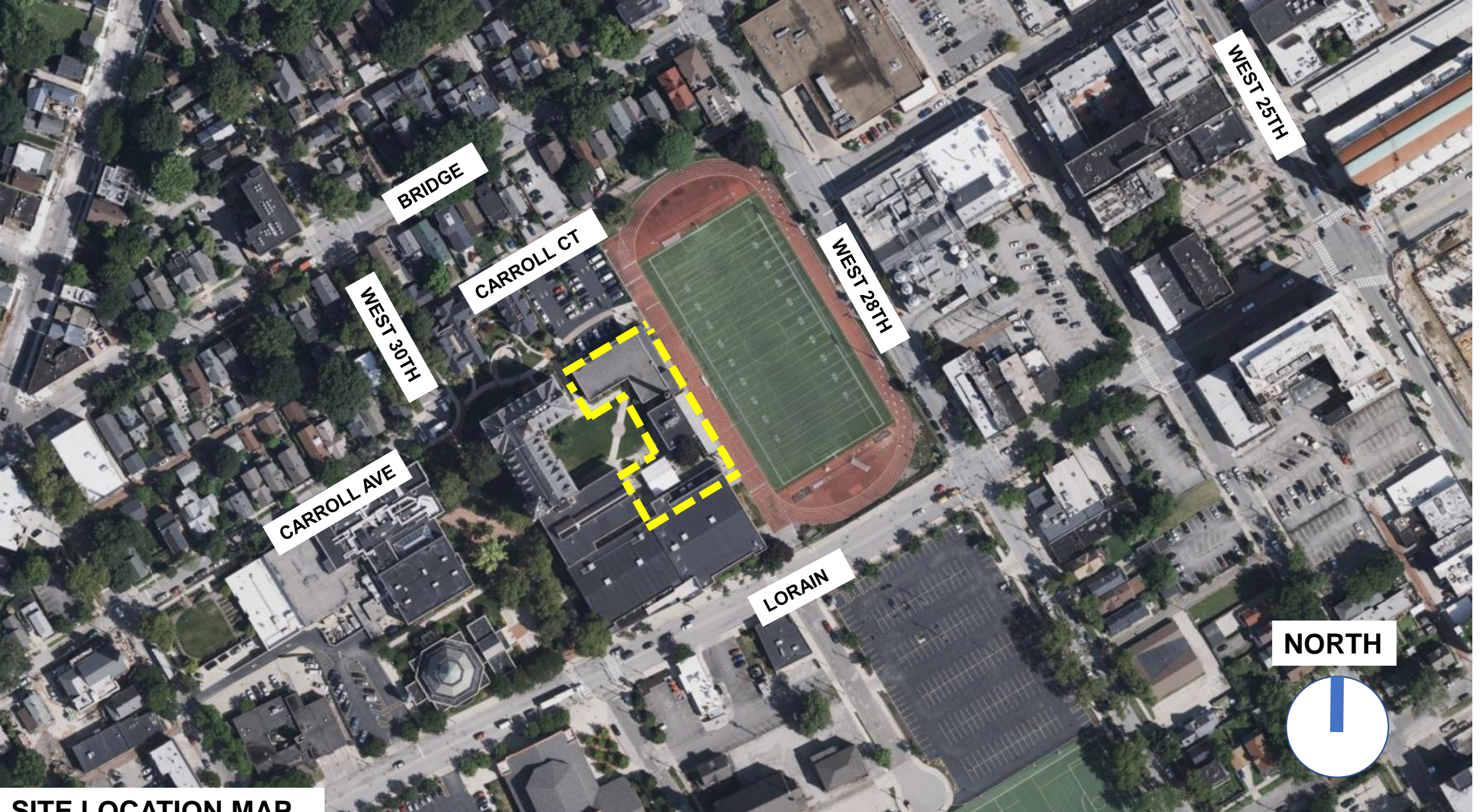


NORTH



DISTRICT LOCATION MAP





BRIDGE

CARROLL CT

WEST 30TH

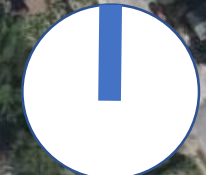
CARROLL AVE

WEST 28TH

WEST 25TH

LORAIN

NORTH



**SITE LOCATION MAP**





- CODED NOTES - SITE PLAN**
1. Concrete sidewalk. Coordinate with Civil.
  2. Landscaping planting. Coordinate with Civil.
  3. Landscaping grass. Coordinate with Civil.
  4. Existing lock to remain.
  5. Driv. Coordinate with Civil.
  6. New fence to match existing. Coordinate with Civil.
  7. Existing window well to remain.
  8. Fence with gate and door. Refer to (A-011). Coordinate with Civil. Verify final location with owner and architect prior to installation.
  9. Concrete bridge above.
  10. Light poles. Coordinate with Civil and Electrical.
  11. Concrete ramp. Coordinate with Civil.
  12. Crushed granite. Coordinate with Civil.
  13. Generator. Refer to 2 / A-011. Coordinate with Civil and Electrical.
  14. Frost slab. Coordinate with Structural.
  15. Concrete bridge support. Refer to 14.
  16. Asphalt. Coordinate with Civil.
  17. Existing lock (panels to be removed and reset). Coordinate with Civil.
  18. Existing flush concrete curb shall be demolished and replaced. Coordinate with Civil.
  19. No rail.
  20. Bolsters installed 4'-0" o.c. Refer to 1 / A-011.
  21. Sloped concrete sidewalk. See (78A / A-011). Coordinate with Civil.
  22. New fence gate to match existing side and function. Coordinate with Civil.
  23. New fence gate. Coordinate with Civil.
  24. Single panel fence gate. Refer to (23A-01) for placement. Coordinate with Civil. Verify final location with owner and architect prior to installation.



BARBER & HOFFMAN, INC.

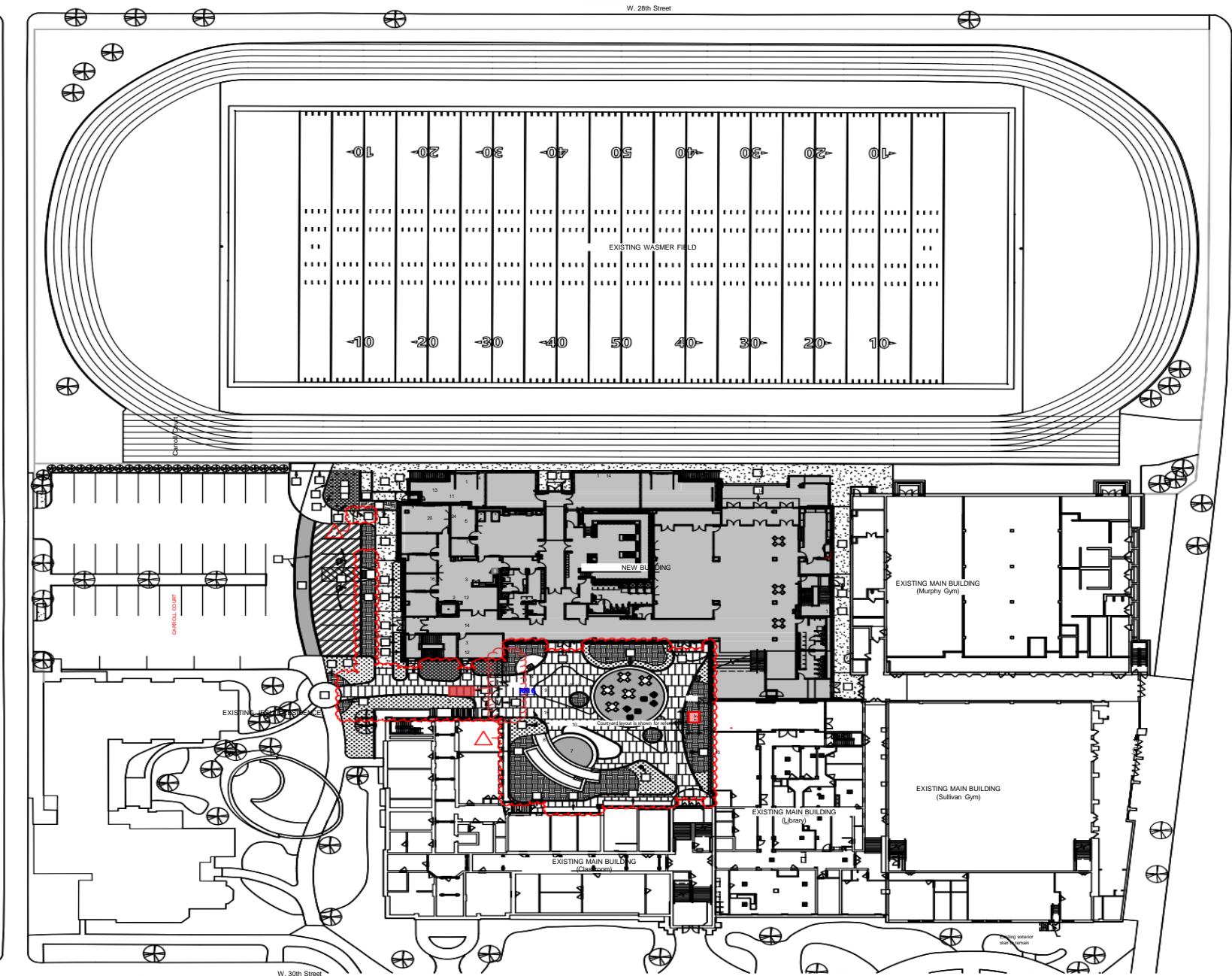


22-083  
**Back Quad Academic Expansion and Renovation**  
 St. Ignatius High School  
 191 1 W 30th St. Cleveland, Ohio 44113

ISSUE	DATE
725-0487 Set	02-02-2023
100% CD	09-29-2023
4 Bulletin No 1	01-17-2024
5 Bulletin No 2 (supplication)	04-15-2024
7 Bulletin No 4	05-01-2024
8 Bulletin No 5	07-17-2024

SITE PLAN

A-010



1 SITE PLAN  
A-010 Scale: 3/8" = 1'-0"

PROJECT NORTH TRUE NORTH



NORTH  
←

SITE PLAN

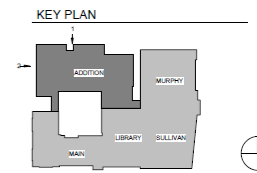


# Current Conditions



SPENCER FIELD  
GABOR TRACK





LEGEND - EXTERIOR ELEVATIONS

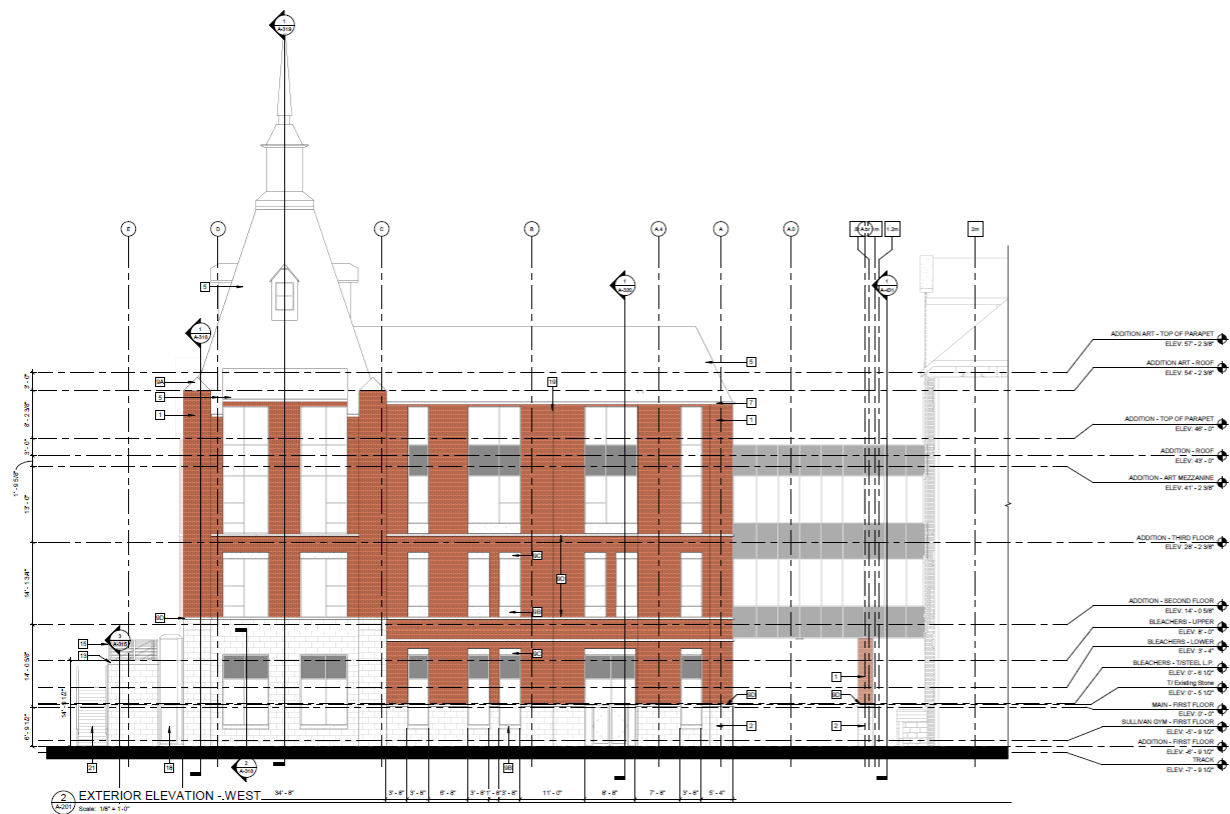


GENERAL NOTES - EXTERIOR ELEVATIONS

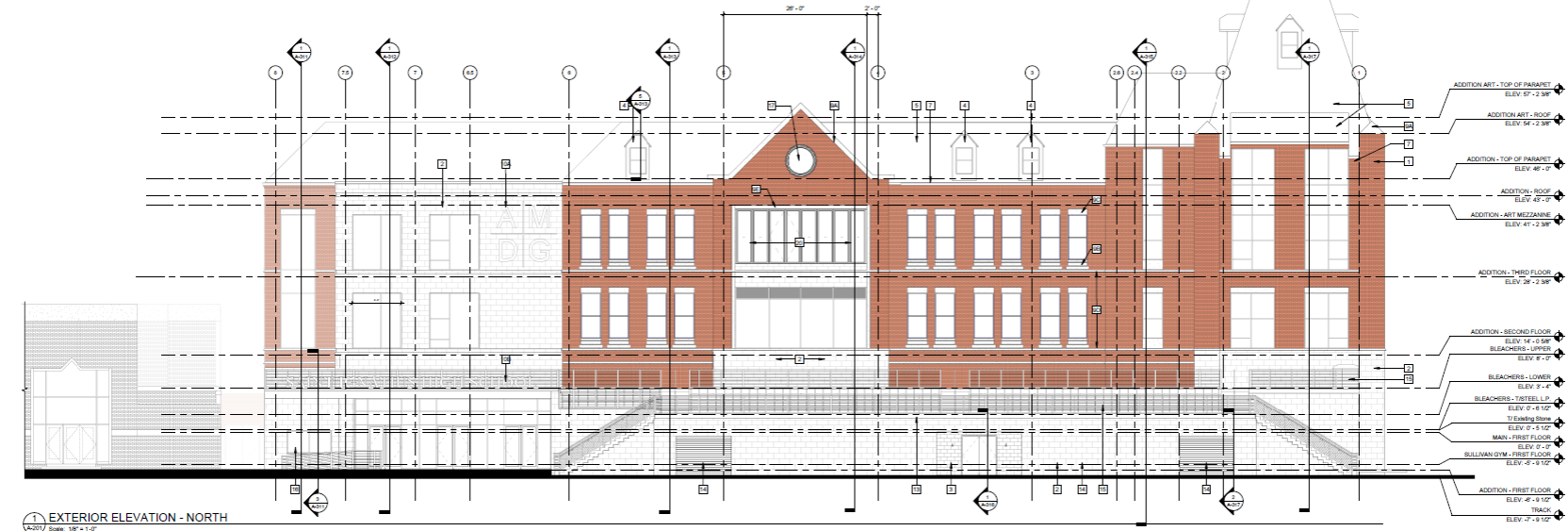
- All exposed steel fabric, not pre-finished pipe rails, H&M door frames, to be painted.
- Instances of exterior views and specific glazing are indicated for reference only. Refer to specification manual for specific exterior glazing types.

CODED EXTERIOR ELEVATION NOTES

- Face brick FB-1
- Calcium silicate masonry unit CS-1
- Prefaced concrete masonry unit PCMU-1
- Fiber cement board
- Asphalt roof shingles
- Custom copper splay
- Aluminum gutter and downspout
- Brick cornice to match FB-1
- Cast stone coping
- Cast stone sill, typical
- Cast stone lintel
- Cast stone banding
- Cast stone window surround
- Building signage - Internal illuminated signage. Coordinate power feeds with electrical drawings.
- Building signage - Non illuminated building signage on rail system
- Exterior hollow metal door painted to match facade
- Exterior hollow metal door and frame painted to match calcium silicate
- Exterior hollow metal door painted to match insulated metal wall panel
- Prefaced concrete beamcher assembly with aluminum bench seating
- Prefaced overhead sectional door
- Decorative metal railing system
- Insulated sliding aluminum glass service window
- Fixed insulated glass window
- Elevator vertical access door
- Masonry expansion joint
- Painting insulated glass aluminum pressure window system
- Prefaced concrete sill system
- Composite metal panel w/ft system
- Clean ending hardware
- Stainless steel service counter
- Roofing membrane turned up wall
- Metal wall panel system, Insulated MP-1
- Metal wall panel system reveal
- Existing skylight
- Sloped
- Aluminum collection box and downspout, color to match metal panel
- Roof saddle
- 1" Building expansion joint
- Finish include area of wall left - both in brickwork allowing existing brickwork salvaged during demolition
- Perfused metal cover - refer to MPF drawings for additional information
- Perfused metal cover in existing masonry opening - refer to MPF drawings for additional information



2 EXTERIOR ELEVATION - WEST  
Scale: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH  
Scale: 1/8" = 1'-0"

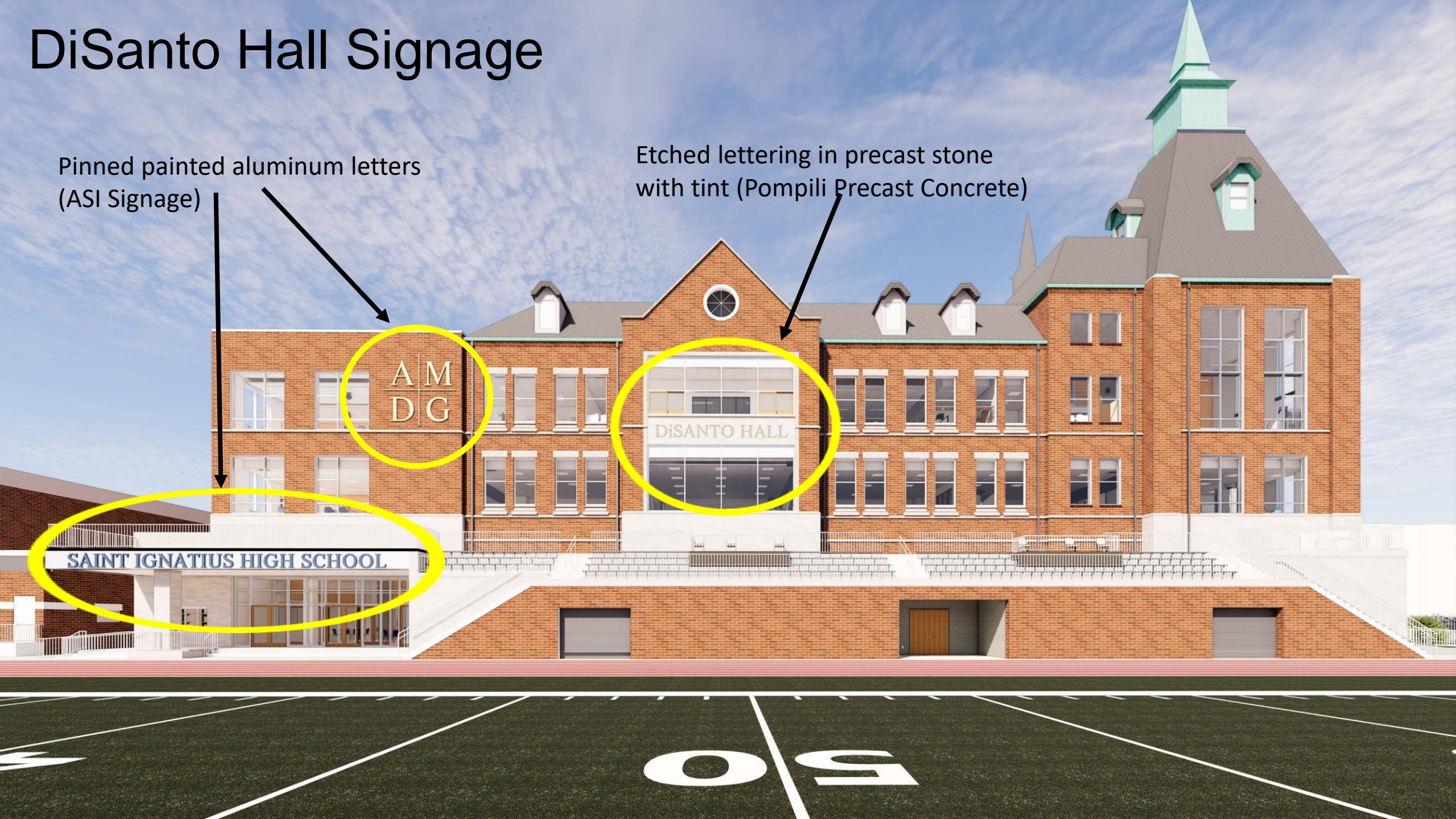
ELEVATIONS



# DiSanto Hall Signage

Pinned painted aluminum letters  
(ASI Signage)

Etched lettering in precast stone  
with tint (Pompili Precast Concrete)





Wide view to show current signage on adjacent building



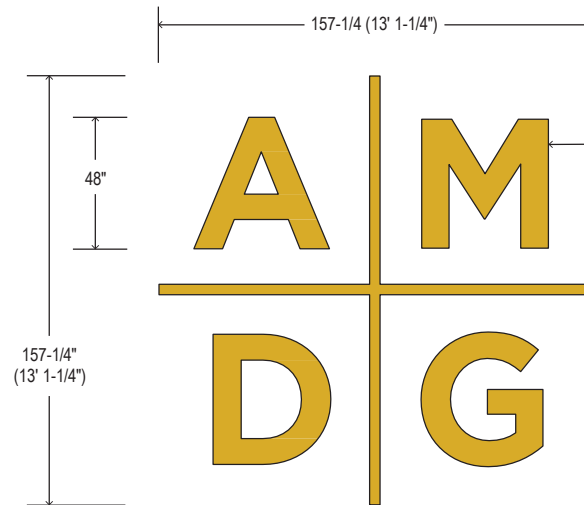


# SAINT IGNATIUS HIGH SCHOOL

24"

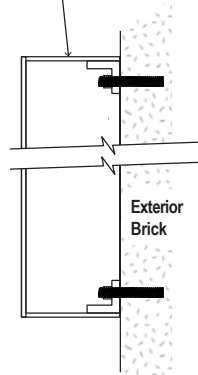
585.09" (48' 9.09")

(SPR) 1" Deep Fabricated Aluminum Letters  
with .090" Faces & .063" Walls  
Typeface: Lyon Bold, +40 Tracking  
Faces & Returns: Painted PMS 2955 C Navy Blue (Semi-Gloss)  
Mounting: 3" Studs, Silicone & Template

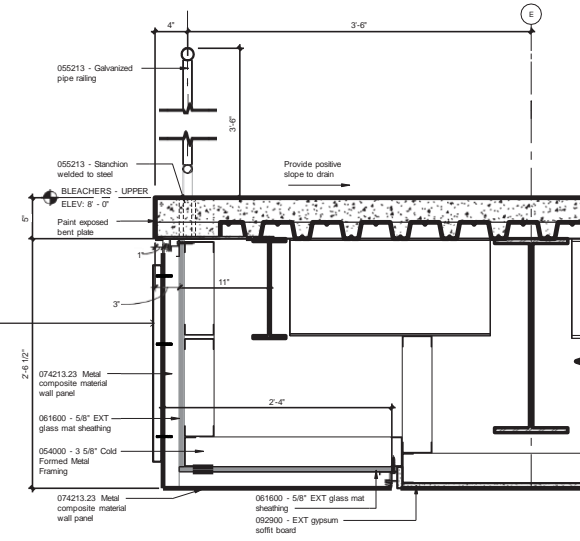


Additional Layout

(SPR) 3" Deep Fabricated Aluminum Letters & Cross  
with .125" Faces & .090" Walls  
Faces & Returns: Painted PMS 110 C Gold (Semi-Gloss)  
Mounting: Studs & Template  
**Note: Black Stroke is for Illustrative Purposes Only.**



Section Side View  
Scale: 1" = 4"



Balcony Overhang  
Section Side View  
Scale: 1" = ±16"



CLIENT	Saint Ignatius High School	STARTED	01.09.2025vr	ORIGINAL	REVISED	00.00.0000xx	REVIEWED	01.14.2025vp/kj
SIGN TYPE								

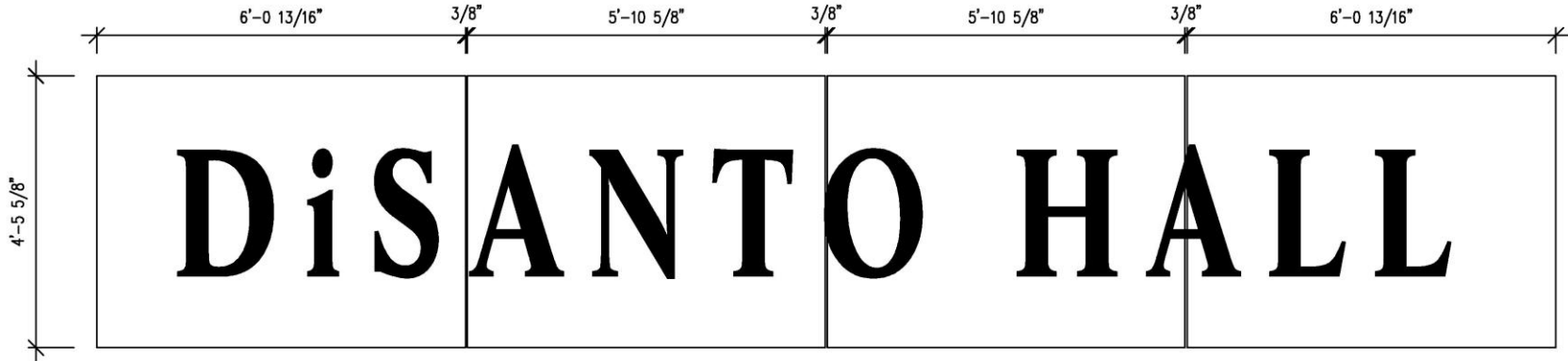




±19-1/2"  
Exterior East Elevation



CLIENT	Saint Ignatius High School	SIGN TYPE	STARTED 00.00.0000.xx	ORIGINAL 00.00.0000.xx	REVISED 00.00.0000.xx	REVIEWED 01.14.2025 vp/kj
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TEXT DETAILS  
 FONT = LYON BOLD  
 HEIGHT = 2'-2"  
 DEPTH = 1/2"

MATERIALS LIST

MARK NO.	NO. REQ'D	DESCRIPTION

NOTE: MAINTAIN 1 1/2" MIN. CLR. OF STEEL TO FINISH FACE

FINISH

- A = ACID WASH      F = STEEL TROWEL
- B = BROOM          G = SANDBLAST
- C = EXPOSED        H = OTHER
- D = FORM            J = FLOAT

REVISIONS:

MIX NUMBER:

JOB NUMBER:

**PC**

**POMPILI PRECAST CONCRETE**

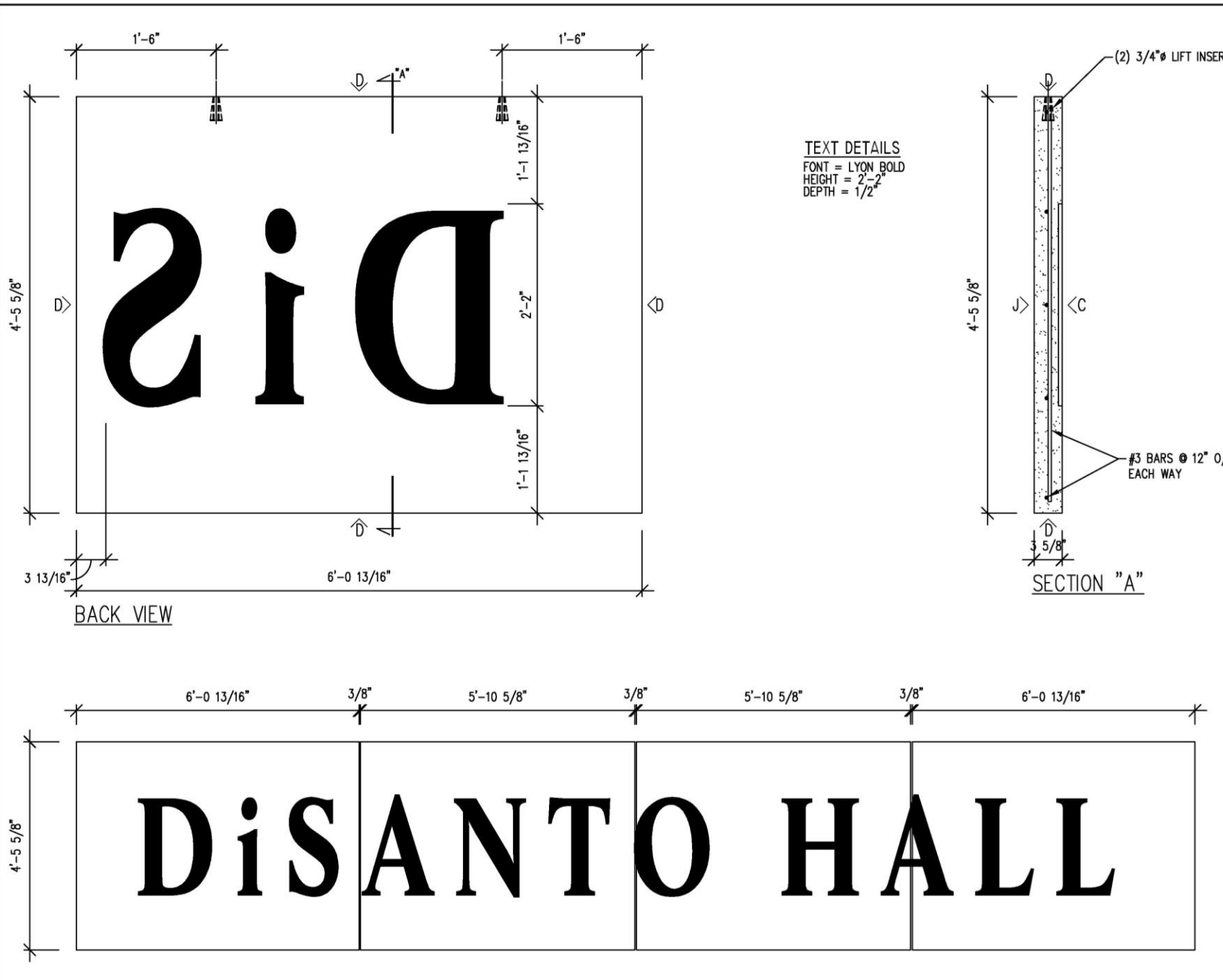
12307 BROADWAY AVENUE  
 GARFIELD HEIGHTS, OHIO 44125

PHONE: (216) 581-8080  
 FAX: (216) 581-3910

FOR: ST IGNATIUS DONOR SIGN

DRAWN BY: MIKE	DATE: 12-31-2024	NO. REQ'D: 1
WEIGHT: 1,305#	CUBIC FT. 9.0	PIECE NO: SIGN 1





MATERIALS LIST		
MARK NO.	NO. REQ'D	DESCRIPTION

NOTE: MAINTAIN 1 1/2" MIN. CLR. OF STEEL TO FINISH FACE

FINISH	
A = ACID WASH	F = STEEL TROWEL
B = BROOM	G = SANDBLAST
C = EXPOSED	H = OTHER
D = FORM	J = FLOAT

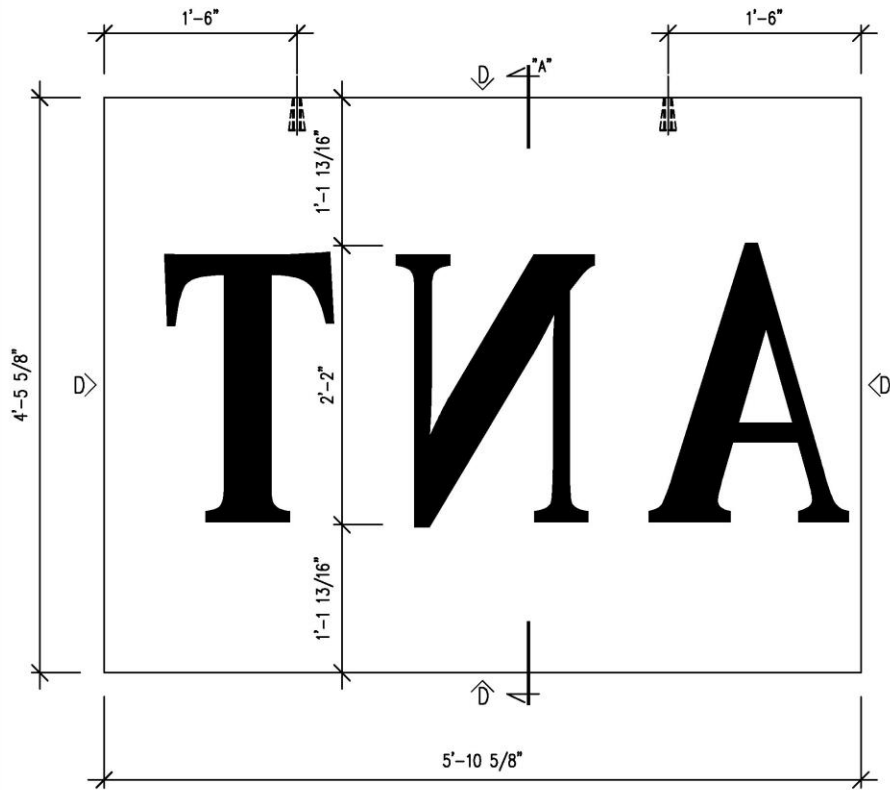
REVISIONS:

MIX NUMBER:  
JOB NUMBER:

  
**POMPILI PRECAST CONCRETE**  
 12307 BROADWAY AVENUE  
 GARFIELD HEIGHTS, OHIO 44125  
 PHONE: (216) 581-8080  
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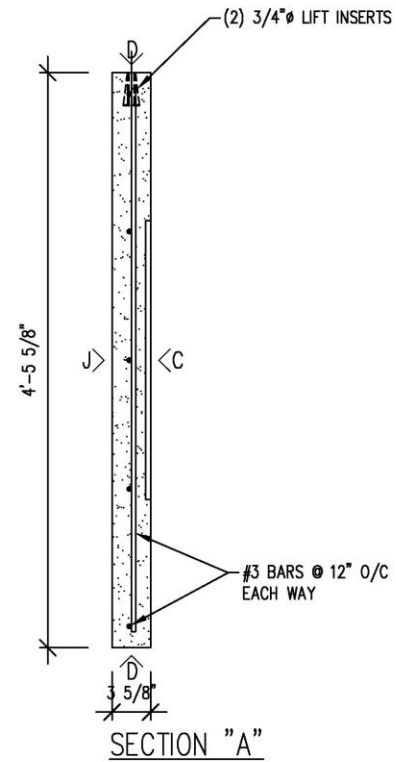
FOR: ST IGNATIUS DONOR SIGN

DRAWN BY: MIKE	DATE: 12-31-2024	NO. REQ'D: 1
WEIGHT: 1,305#	CUBIC FT. 9.0	PIECE NO: SIGN 1

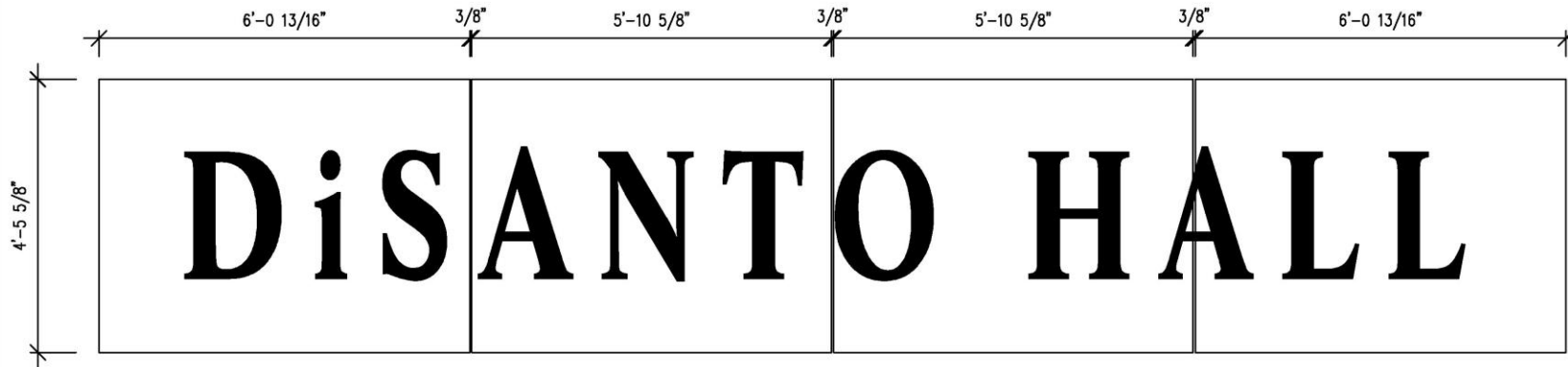


BACK VIEW

TEXT DETAILS  
 FONT = LYON BOLD  
 HEIGHT = 2'-2"  
 DEPTH = 1/2"



SECTION "A"



MATERIALS LIST		
MARK NO.	NO. REQ'D	DESCRIPTION

NOTE: MAINTAIN 1 1/2" MIN. CLR. OF STEEL TO FINISH FACE

FINISH	
A = ACID WASH	F = STEEL TROWEL
B = BROOM	G = SANDBLAST
C = EXPOSED	H = OTHER
D = FORM	J = FLOAT

REVISIONS:

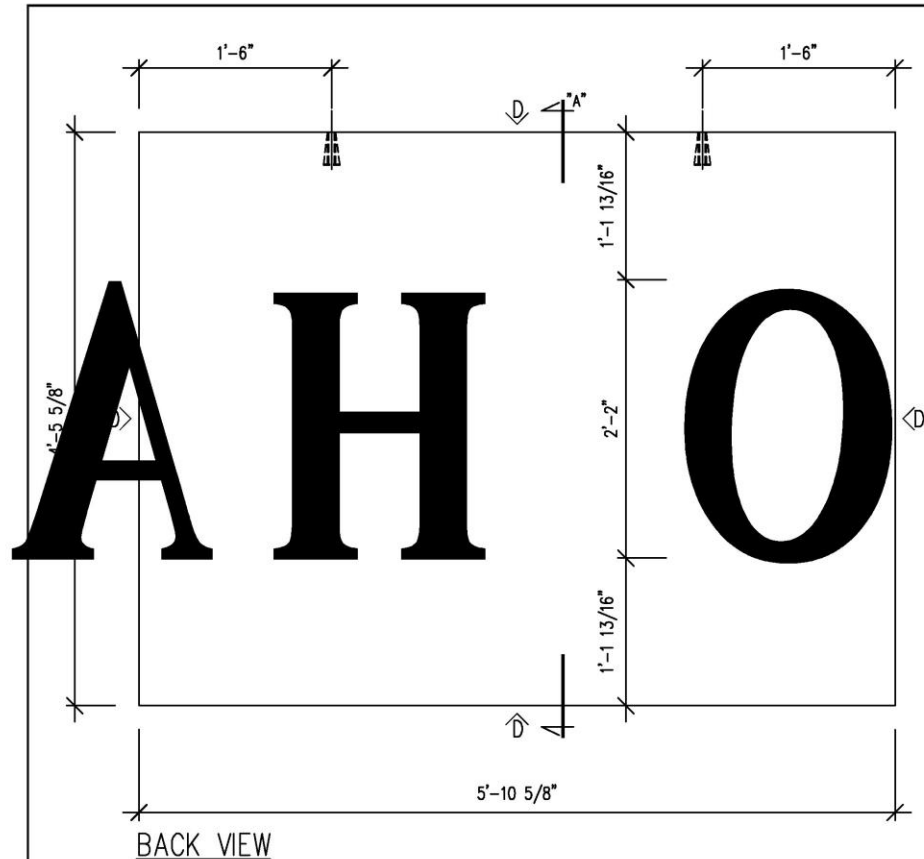
MIX NUMBER:  
 JOB NUMBER:

  
**POMPILI PRECAST CONCRETE**  
 12307 BROADWAY AVENUE  
 GARFIELD HEIGHTS, OHIO 44125  
 PHONE: (216) 581-8080  
 FAX: (216) 581-3910

FOR: ST IGNATIUS DONOR SIGN

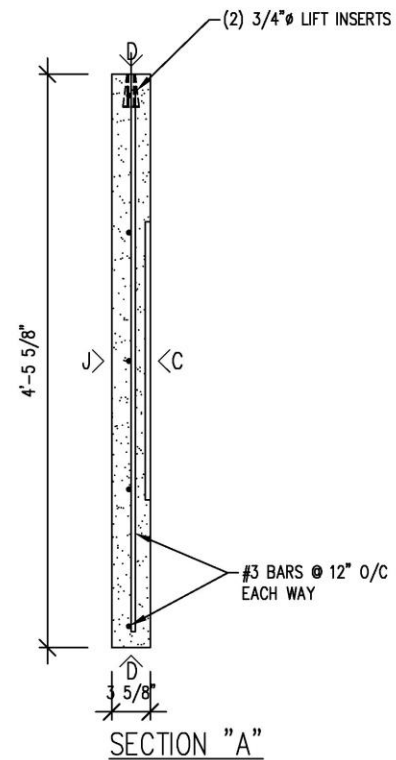
DRAWN BY: MIKE	DATE: 12-31-2024	NO. REQ'D: 1
WEIGHT: 1,265#	CUBIC FT. 8.7	PIECE NO: SIGN 2



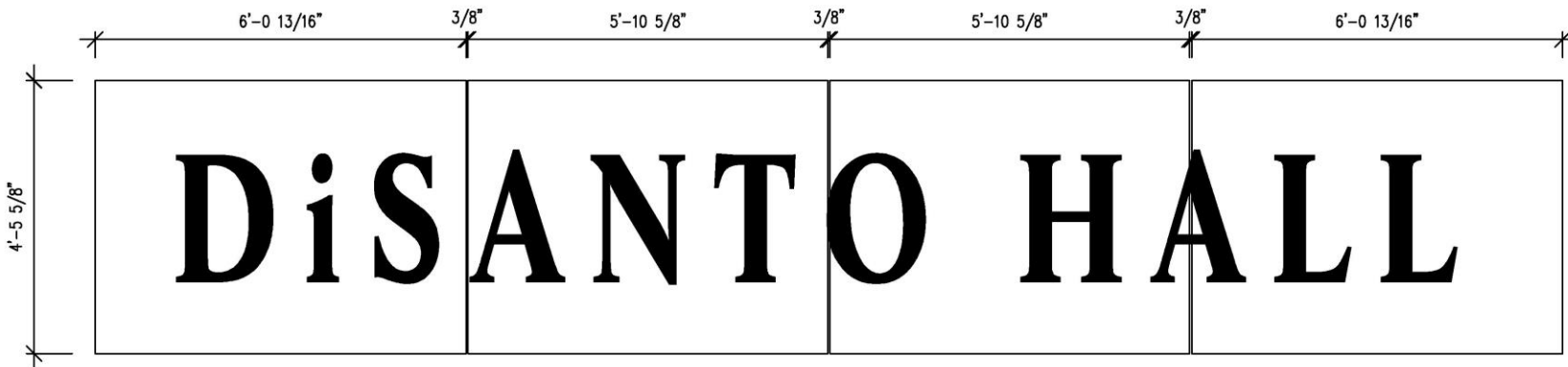


BACK VIEW

TEXT DETAILS  
 FONT = LYON BOLD  
 HEIGHT = 2'-2"  
 DEPTH = 1/2"



SECTION "A"



MATERIALS LIST

MARK NO.	NO. REQ'D	DESCRIPTION

NOTE: MAINTAIN 1 1/2" MIN. CLR. OF STEEL TO FINISH FACE

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B = BROOM	G = SANDBLAST
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REVISIONS:

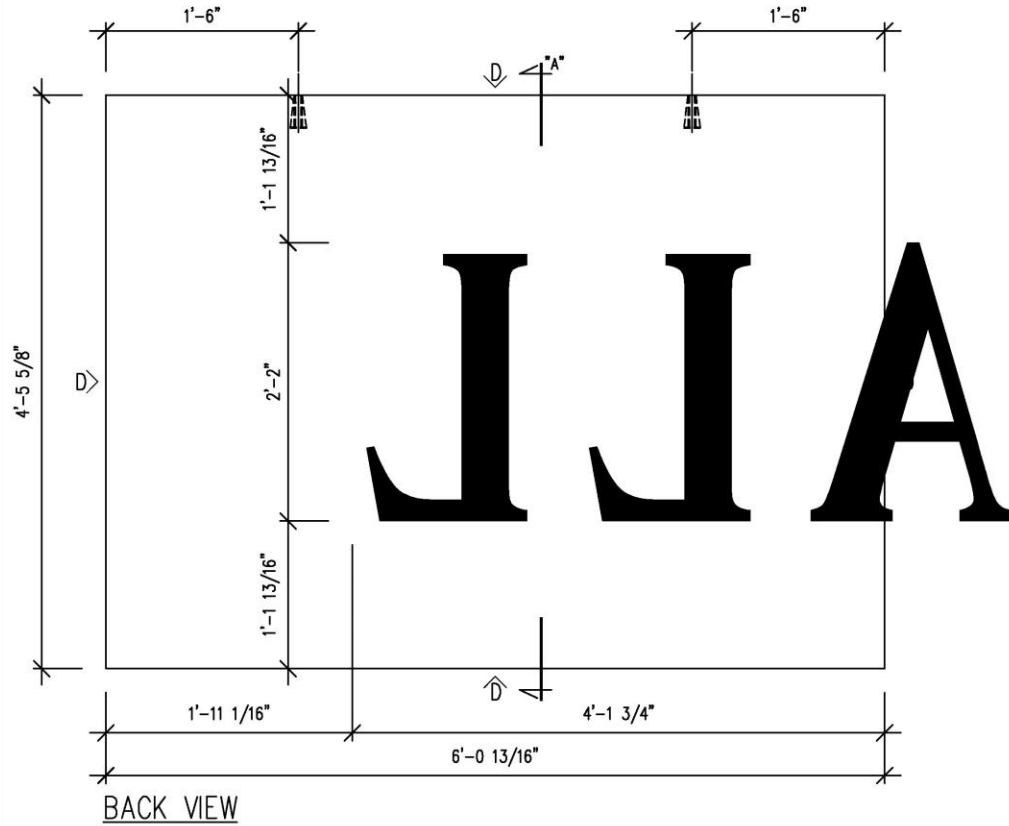
MIX NUMBER:

JOB NUMBER:

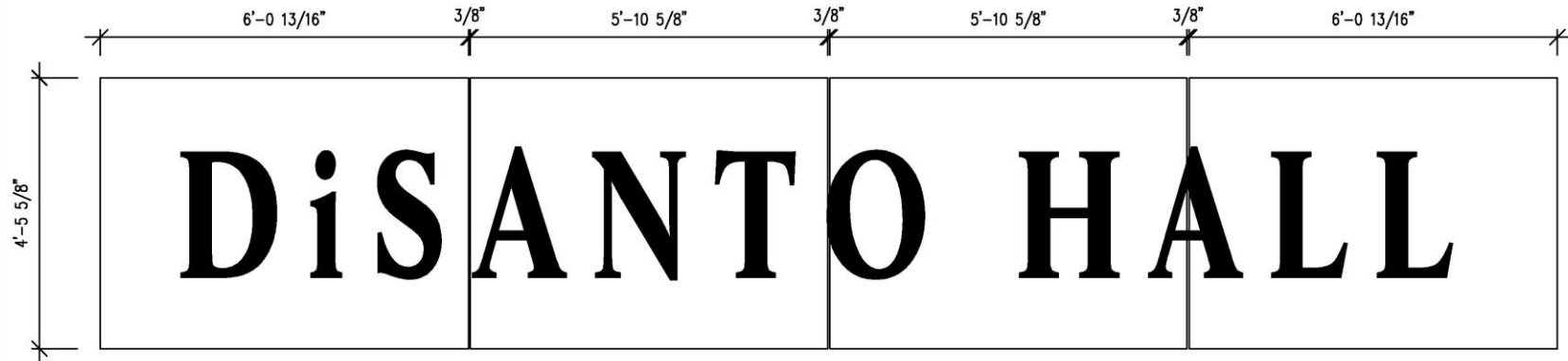
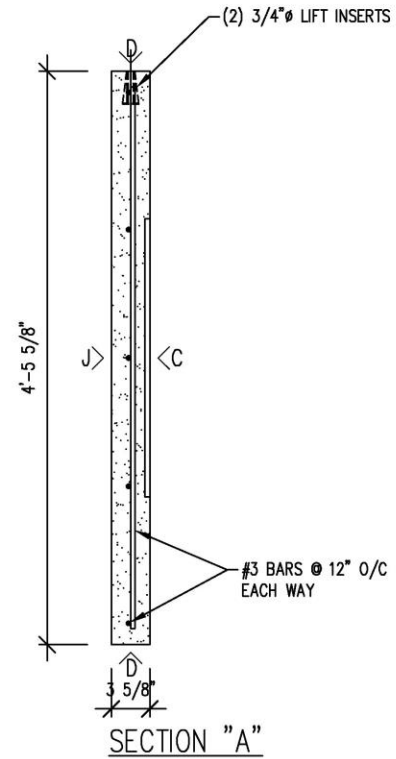
**PPC**  
**POMPILI PRECAST CONCRETE**  
 12307 BROADWAY AVENUE  
 GARFIELD HEIGHTS, OHIO 44125  
 PHONE: (216) 581-8080  
 FAX: (216) 581-3910

FOR: ST IGNATIUS DONOR SIGN

DRAWN BY:	DATE:	NO. REQ'D:
MIKE	12-31-2024	1
WEIGHT:	CUBIC FT.	PIECE NO:
1,265#	8.7	SIGN 3



TEXT DETAILS  
 FONT = LYON BOLD  
 HEIGHT = 2'-2"  
 DEPTH = 1/2"



MATERIALS LIST		
MARK NO.	NO. REQ'D	DESCRIPTION

NOTE: MAINTAIN 1 1/2" MIN. CLR. OF STEEL TO FINISH FACE

FINISH	
A = ACID WASH	F = STEEL TROWEL
B = BROOM	G = SANDBLAST
C = EXPOSED	H = OTHER
D = FORM	J = FLOAT

REVISIONS:

MIX NUMBER:  
 JOB NUMBER:

  
**POMPILI PRECAST CONCRETE**  
 12307 BROADWAY AVENUE  
 GARFIELD HEIGHTS, OHIO 44125  
 PHONE: (216) 581-8080  
 FAX: (216) 581-3910

FOR: ST IGNATIUS DONOR SIGN

DRAWN BY: MIKE	DATE: 12-31-2024	NO. REQ'D: 1
WEIGHT: 1,305#	CUBIC FT. 9.0	PIECE NO: SIGN 4





DISANTO HALL

RF173

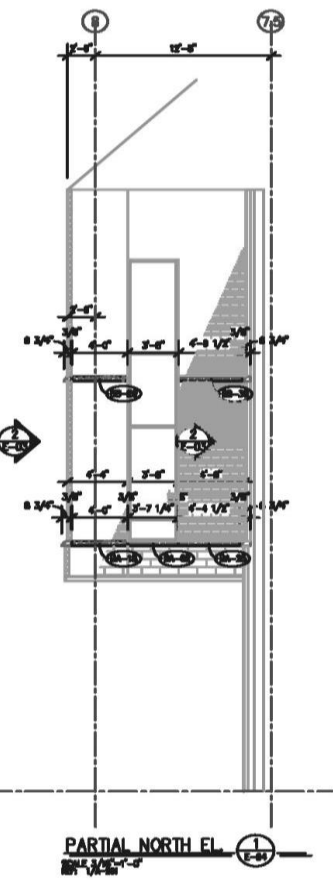
RF195

RF195

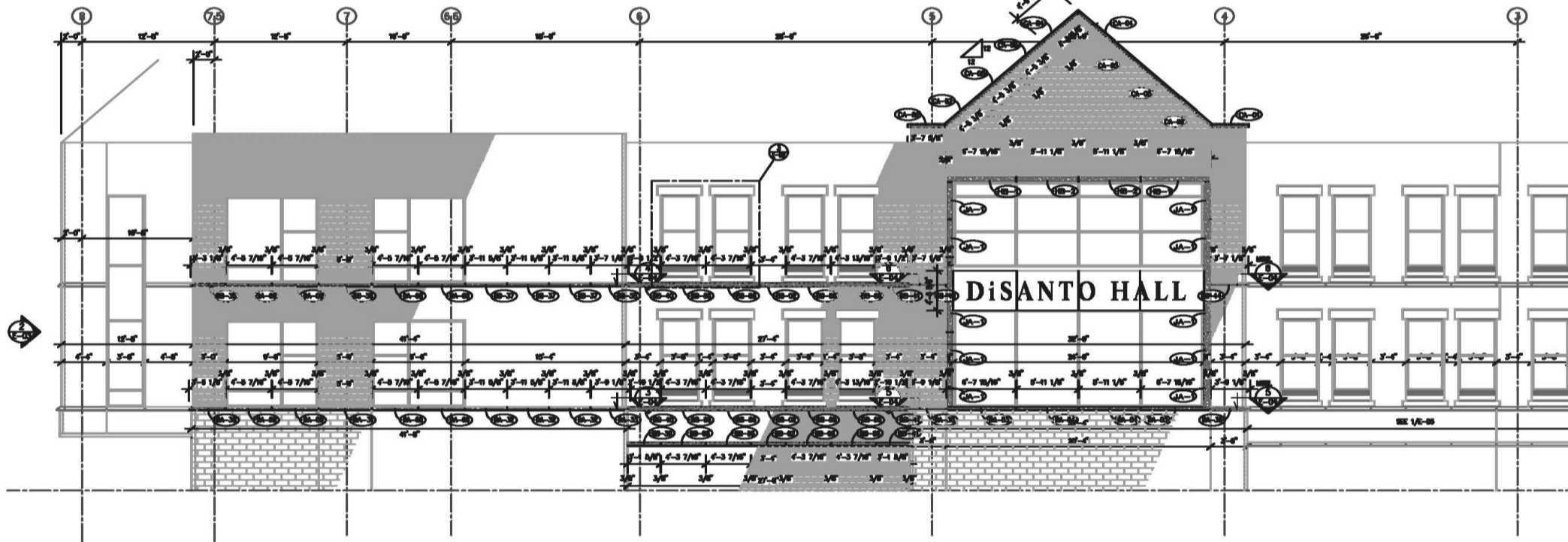
RF174

EQ EQ On panel

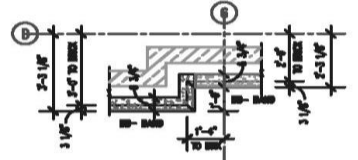




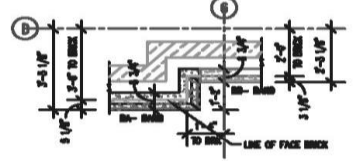
PARTIAL NORTH EL.  
SCALE 1/4"=1'-0"  
E-04



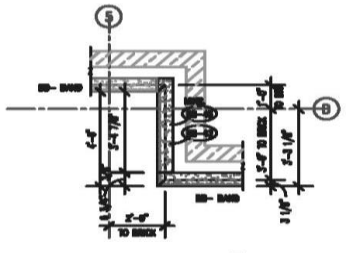
NORTH ELEVATION  
SCALE 1/4"=1'-0"  
E-04



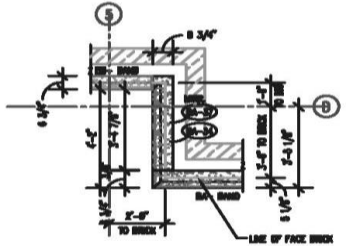
ENL PLAN  
SCALE 3/8"=1'-0"  
E-04



ENL PLAN  
SCALE 3/8"=1'-0"  
E-04



ENL PLAN  
SCALE 3/8"=1'-0"  
E-04



ENL PLAN  
SCALE 3/8"=1'-0"  
E-04



KEY PLAN

<p><b>NOTES</b></p> <p>ARCHITECT/CONTRACTOR ARE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND QUANTITIES.</p> <p>WE WILL ASSUME NO RESPONSIBILITY FOR ERRORS WHEN MATERIAL IS FURNISHED BY ACCORDANCE WITH APPROVED EXHIBITS.</p> <p>BACK ORDERS WILL NOT BE ACCEPTED UNLESS OUR CONSENT IS GIVEN IN ADVANCE BY WRITING.</p>	<p><b>P.P.C.</b> POMPLI PRECAST CONCRETE</p> <p>18007 BROADWAY AVENUE GARFIELD HEIGHTS, OHIO 44126</p> <p>PHONE: (440) 982-2222 FAX: (440) 982-2222 E-MAIL: <a href="mailto:ppc@ppcconcrete.com">ppc@ppcconcrete.com</a></p>	<p><b>Revisions</b></p> <ul style="list-style-type: none"> <li>▲ GCL REVISION FOR 1st SUBMITTAL. DATE: 6-28-2024</li> <li>▲ GCL REVISION FOR 2nd SUBMITTAL. DATE: 8-9-2024</li> <li>▲ DELAYED JOB LATE FURNISH WINDOW. DATE: 10-25-2024</li> <li>▲ REVISION BA/BO LINES ON 2/6-10. DATE: 1-22-2025</li> </ul>	<p><b>Job Name</b> DIXIE GYM ACADEMIC EXPANSION &amp; ADDITION ST. IGNATIUS HIGH SCHOOL CLEVELAND, OHIO</p>	<p><b>Drawing Title</b> ELEVATIONS</p>
		<p><b>Architect</b> PERSPECTUS</p> <p><b>Contractor</b> MIKE COATES CONSTRUCTION</p>	<p><b>Date</b> 2-14-2024</p> <p><b>Drawn by</b> MSE</p> <p><b>Checked by</b> E-04</p>	<p><b>Job No.</b></p> <p><b>Sheet No.</b> E-04</p>



# Case 25-010

Certificate of Appropriateness

Shaker Square Historic District

2742-82 Van Aken Boulevard

## Demolition

Project Representatives: Joe Delbalso, Paran

Ward 4: Councilmember Gray



# 2742-2782 Van Aken Blvd., Cleveland, OH 44120

---

Landmarks Presentation

February 27, 2025



# MAP

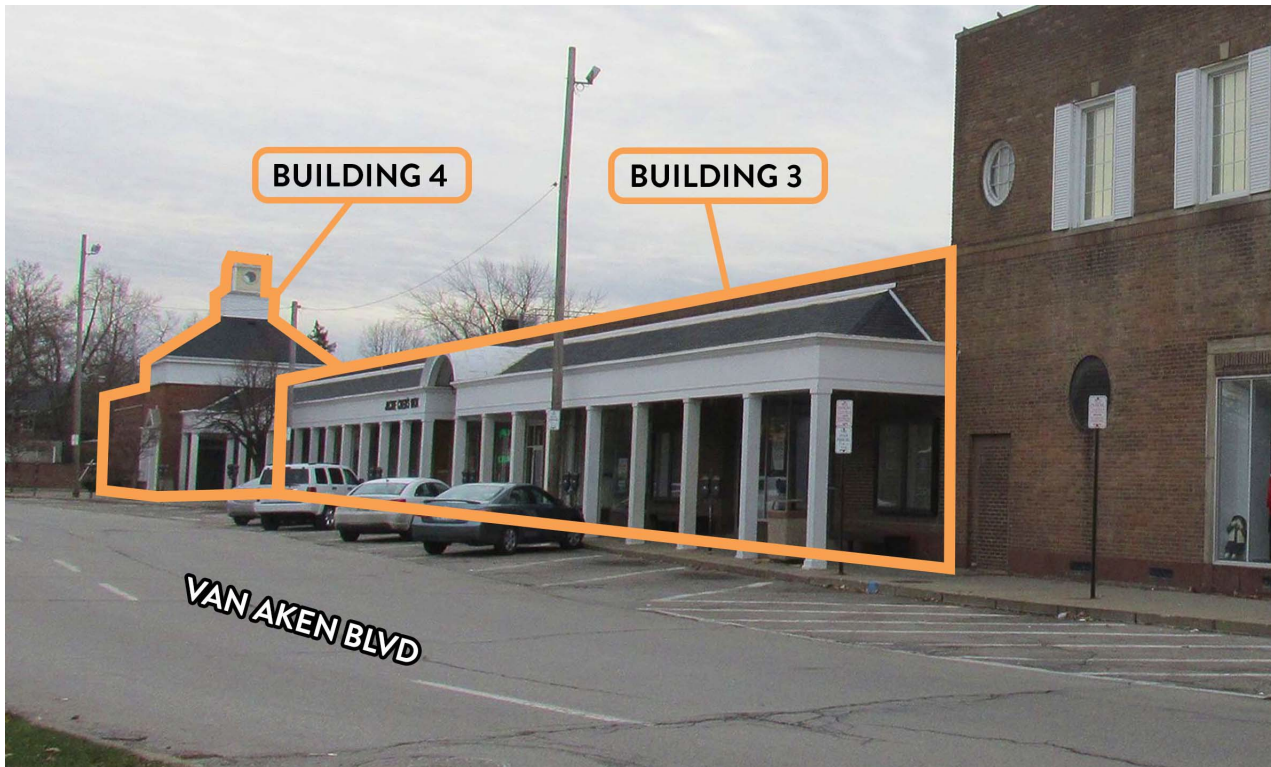


CITY OF CLEVELAND  
Mayor Justin M. Bibb





# HISTORY



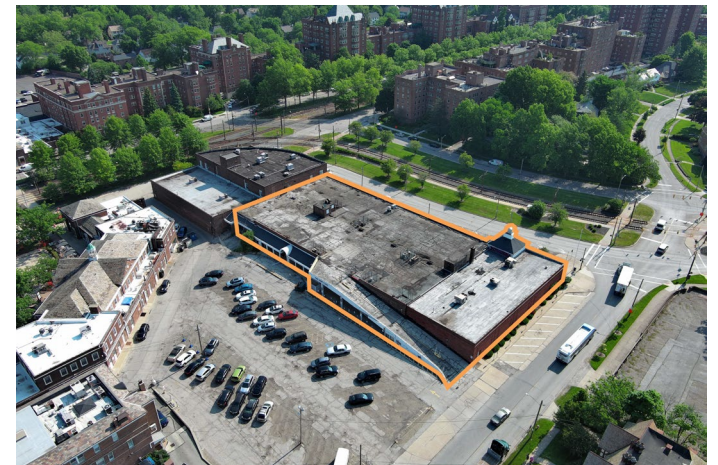
- Shaker Square: Oldest shopping district in Ohio, built 1927-1929
- 2742-2782 Van Aken purchased by Bonwit Teller, LLC in 2018
- Building 3: Built in 1939, 26,000 SF
- Building 4: Built in 1979, 8,320 SF



# EXTERIOR IMAGES



CITY OF CLEVELAND  
Mayor Justin M. Bibb

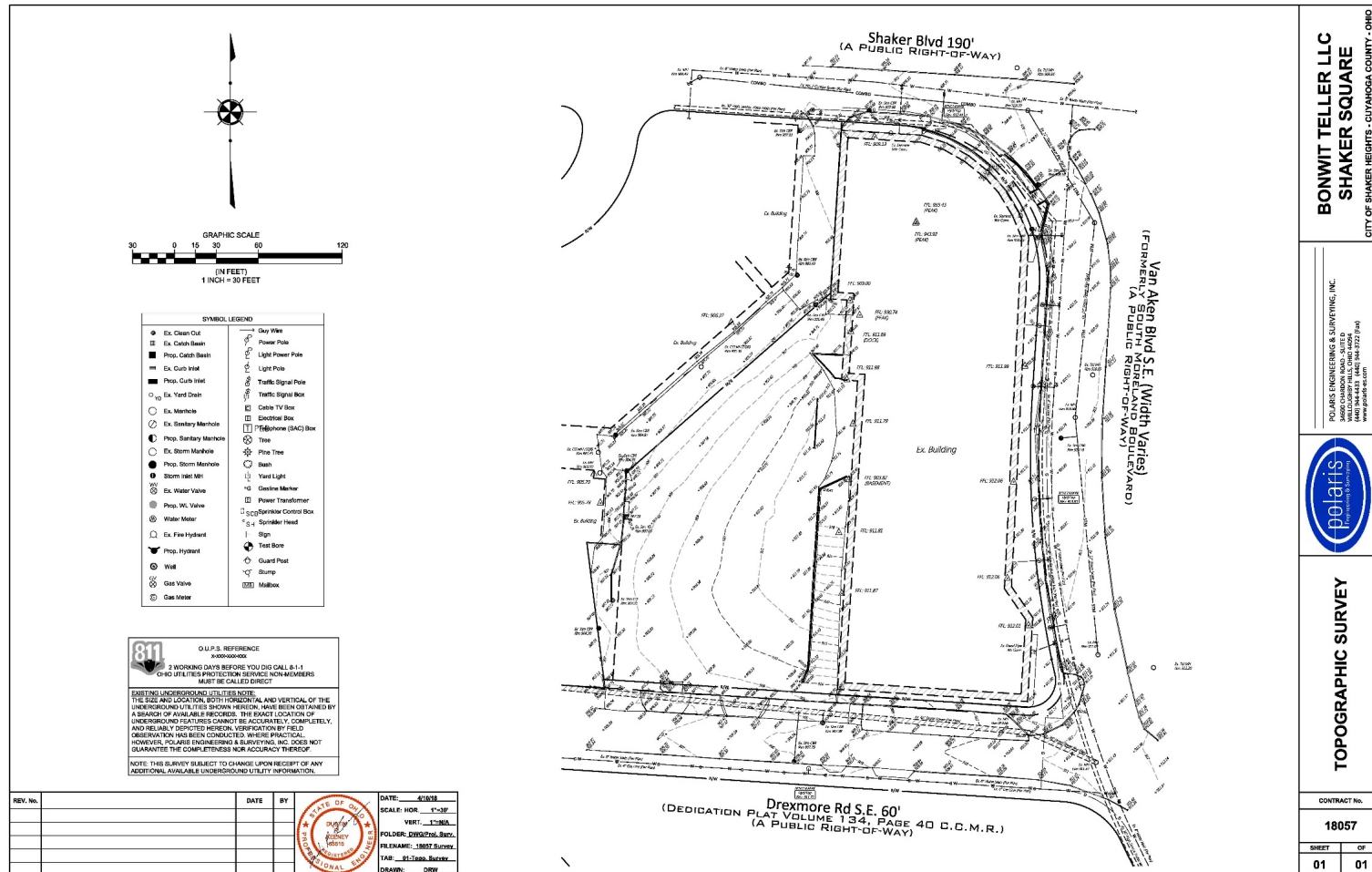




# TOPOGRAPHIC SURVEY



CITY OF CLEVELAND  
Mayor Justin M. Bibb



**BONWIT TELLER LLC**  
**SHAKER SQUARE**  
CITY OF SHAKER HEIGHTS - CUYAHOGA COUNTY - OHIO

**POLARIS ENGINEERING & SURVEYING, INC.**  
3480 CLEVELAND ROAD, SUITE 100  
CLEVELAND, OHIO 44115  
(440) 944-4411 FAX (440) 944-3702 (FAX)  
www.polariseng.com

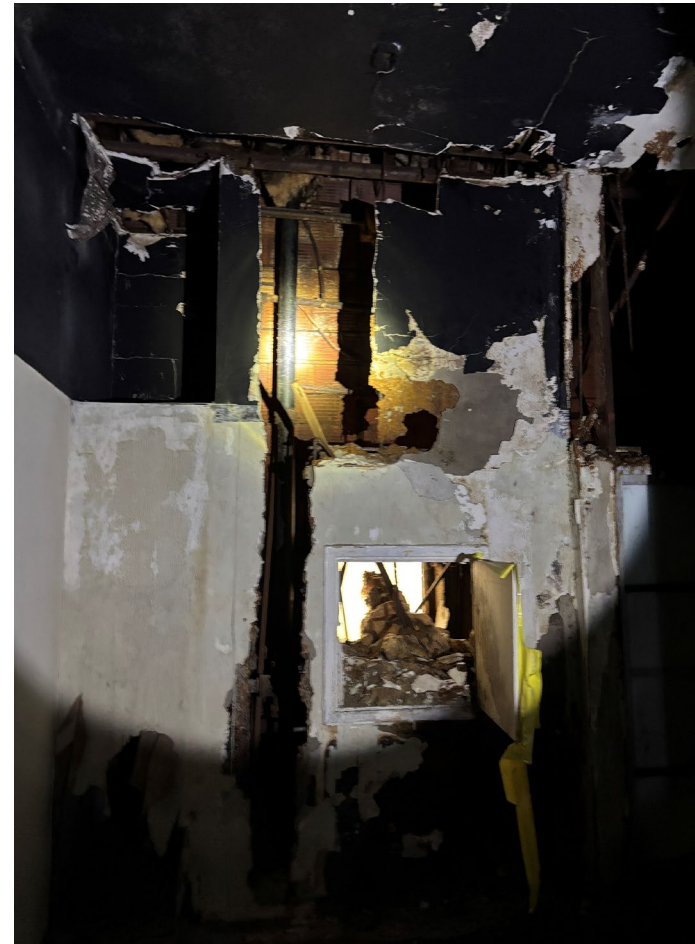


**TOPOGRAPHIC SURVEY**

CONTRACT No.	
18057	
SHEET	OF
01	01



# DAMAGE AREAS



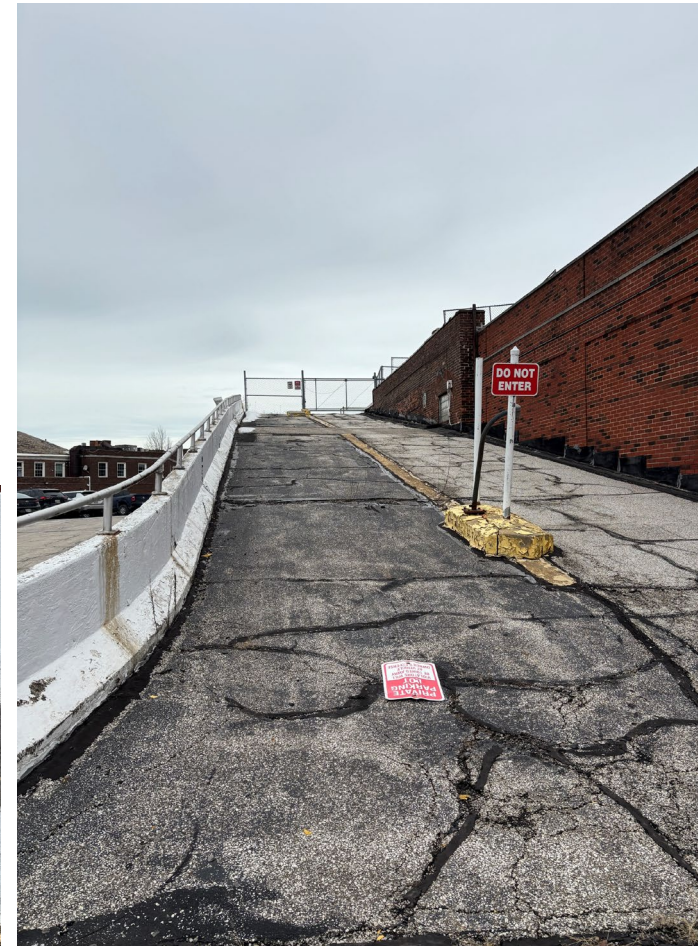


# DAMAGE AREAS





# DAMAGE AREAS





# DAMAGE AREAS

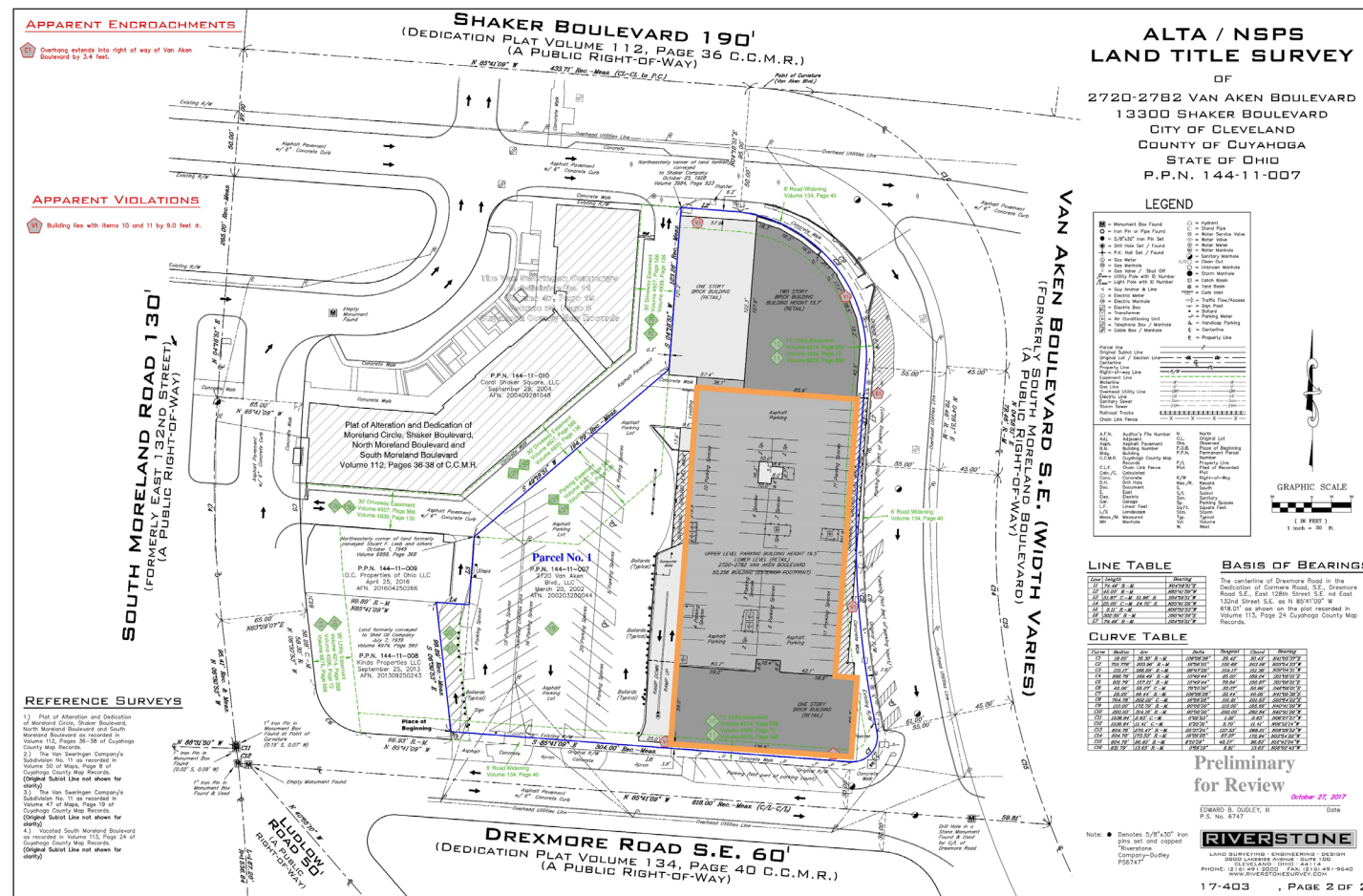




# SITE PLAN



CITY OF CLEVELAND  
Mayor Justin M. Bibb



# SALVAGE PLAN



- Our demo contractor, Sitetech, retains all salvage rights to what is being removed
- Attempt to detach bulkhead panels for reuse and repair of any damaged panels on the adjacent building located at 2720 Van Aken





# CONCEPT RENDERINGS



Proposed potential parking lot



Proposed potential grass area



Proposed multi-residential building

# TRANSITION



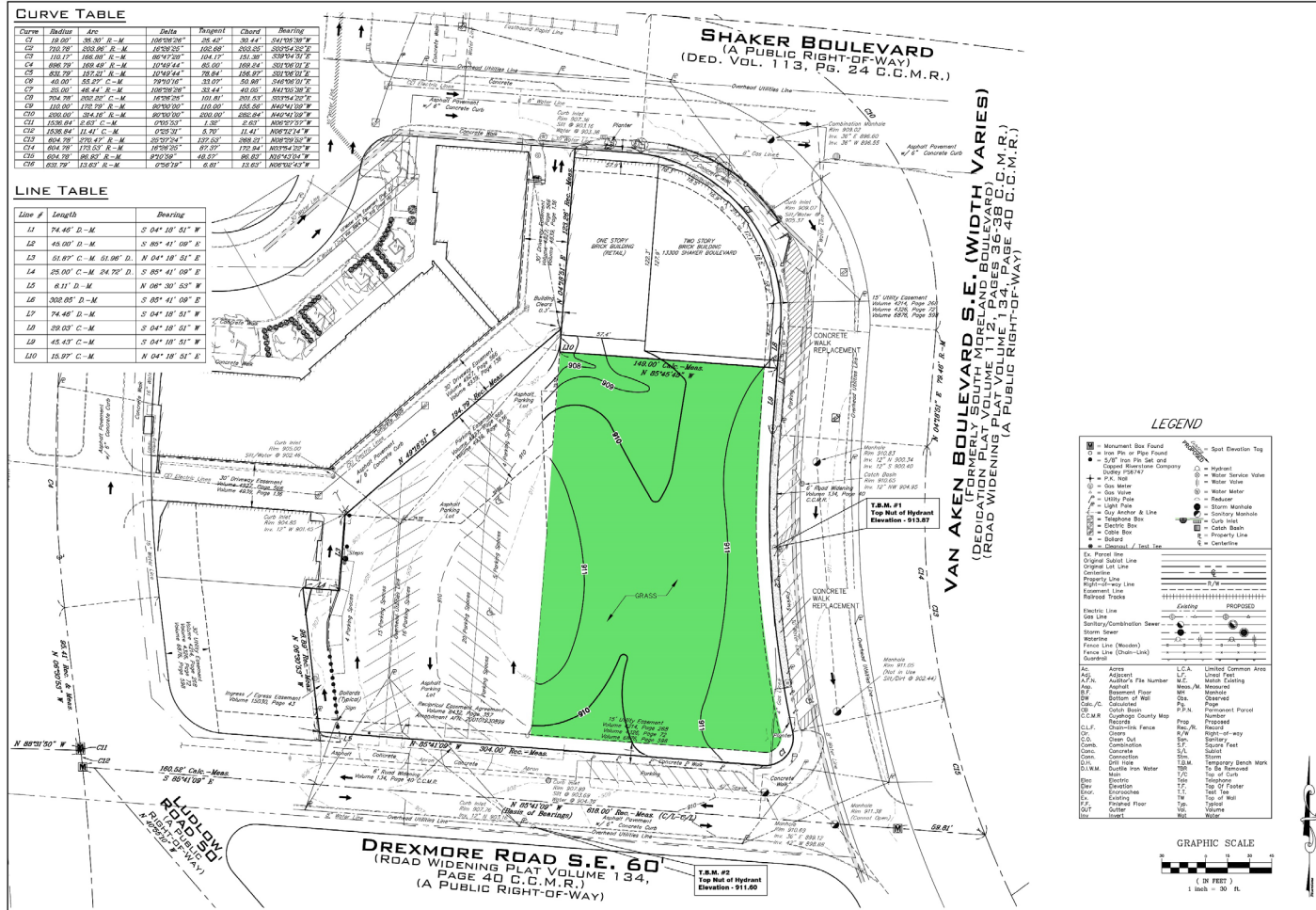
- A transition for a new construction presentation is not applicable at this time.
- The property is being marketed for sale as a multi-family redevelopment project.



# TRANSITION



CITY OF CLEVELAND  
Mayor Justin M. Bibb



**RIVERSTONE**  
STATE OF OHIO  
PLANNING COMMISSION  
150 EAST WASHINGTON STREET, SUITE 100  
CLEVELAND, OHIO 44114-1000  
PHONE (216) 421-2200  
FAX (216) 421-2201

**2024-133**

PLAN REVISIONS:  
2/10/2024  
REVISED 2024.02.15

PAGE REVISIONS:

ISSUED FOR:  
Project  
8/19/2024  
NOT FOR CONSTRUCTION

**GRADING AND SWPPP FOR THE WIDENING OF 2720 VAN AKEN BOULEVARD CLEVELAND, OHIO**

GENERAL PLAN

**OGPUPS**  
OHIO GRADING PROFESSIONALS UNION

**C3.01**

# Case 24-037

Certificate of Appropriateness

Gordon Square Historic District

Concept/Schematic  
Review completed  
October 24<sup>th</sup>, 2024

## Watterson Lake Apartments

**New Construction**

Project Representatives: Jeremiah Brooks, Stantec Architecture

Ward 15: Councilmember Spencer

**CITY** of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CLEVELAND LANDMARKS COMMISSION





Mixed-Use Development of the Former  
**Watterson Lake**

School Site





# OUR PARTNERS

● DENOTES MBE/WBE/DBE STATUS

## DEVELOPMENT



● BRIDGING THE GAP DEVELOPMENT

## MANAGEMENT PARTNER



CHN HOUSING PARTNERS

## DEVELOPMENT PARTNER



CUYAHOGA METROPOLITAN HOUSING AUTHORITY

## MANAGEMENT / LEASING



● FASS

## ARCHITECTURE, PLANNING & DESIGN



STANTEC ARCHITECTURE

## MEP ENGINEERING



THORSON BAKER + ASSOCIATES

## FINANCING



BELLWETHER ENTERPRISES

## CIVIL, SITE & LANDSCAPE



THORSON BAKER + ASSOCIATES

## INTERIOR DESIGN



● DESIRED DESIGNS



ENTERPRISE COMMUNITY PARTNERS

## STRUCTURAL ENGINEERING



● BARBER & HOFFMAN

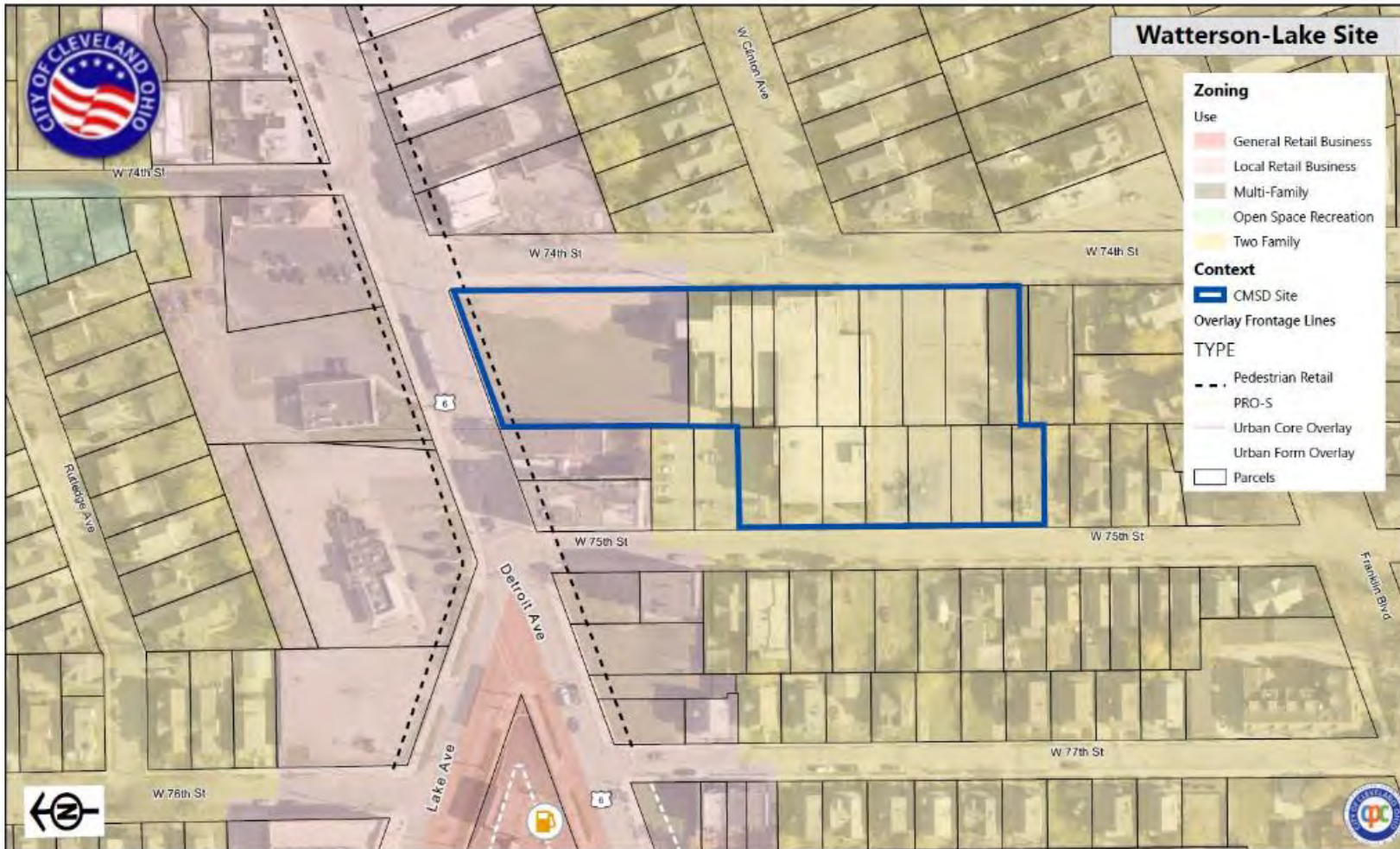
## CONSTRUCTION SERVICES



PANZICA



# Request for Proposals / Context



## SCORING CRITERIA:

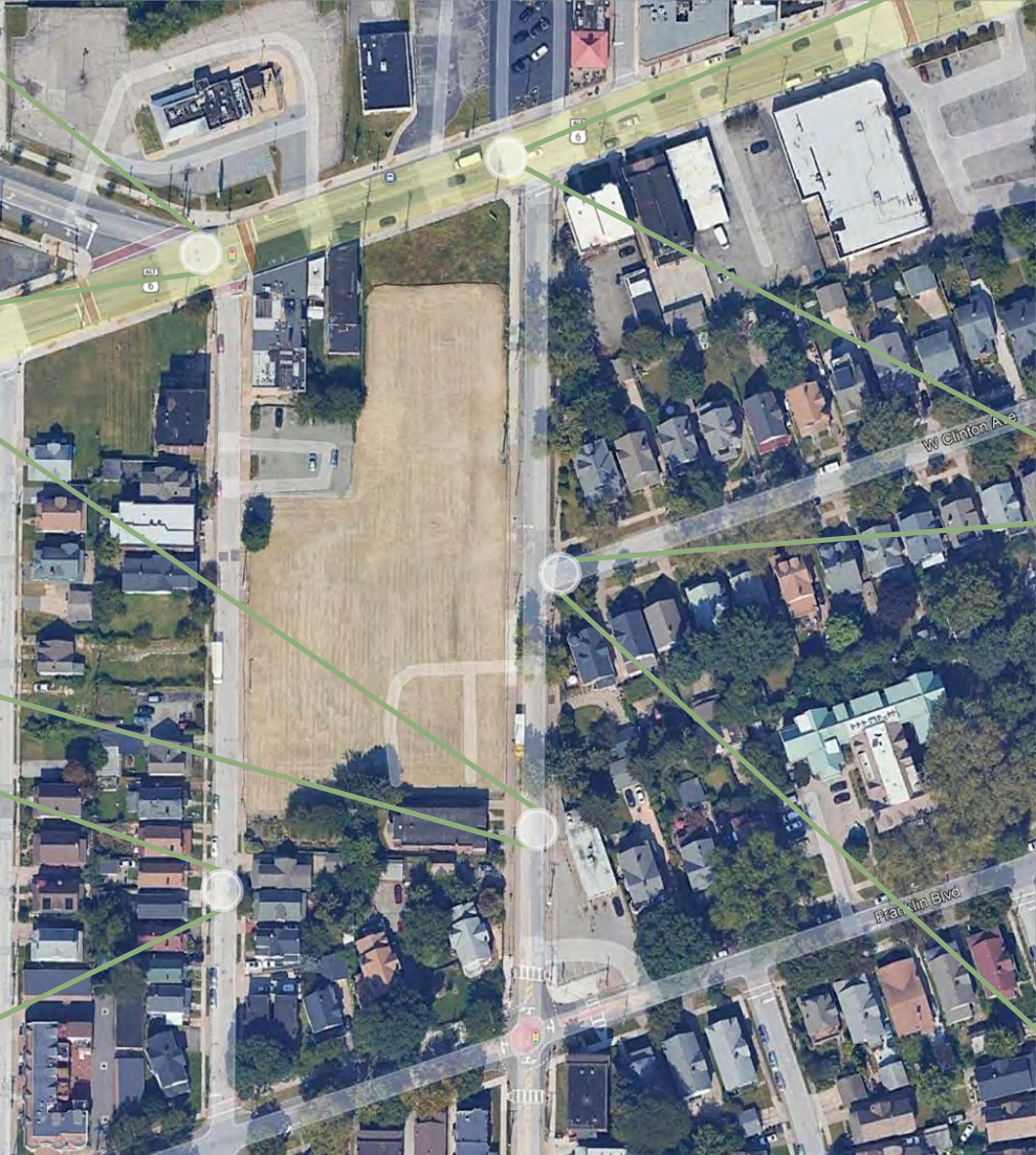
The City of Cleveland will review all proposals and consider the following when making an award decision:

### Total Points (125)

- 1) (25 pts MAX) The City of Cleveland seeks projects that offer amenities that are accessible to the public, contribute to the vibrancy of the neighborhood, and support the commercial corridor along Detroit Avenue. Points will be awarded by comparing each proposal on a side by side basis. Consideration for points will be based on, but not limited to, the following amenities:
  - a. Green Space and Public Play Space
  - b. Public Art
  - c. Community Responsive Space
  - d. A high-quality pedestrian connector between West 74<sup>th</sup>-West 75<sup>th</sup>
  - e. Meeting and exceeding the requirements of the City's required [Tree Preservation Plan](#)
  - f. Other Amenities
- 2) (10 pts MAX) The City desires to encourage mixed-used development along major corridors and transit routes. Projects that include commercial space as part of the design-build of the project will receive points as they compare to other proposals. The following consideration will be given when considering commercial spaces in project proposals:
  - a. Size of total commercial space relative to the size of the building.
  - b. A written plan detailing a strategy to attract a type of commercial tenant, how that space would be ideal for the given proposed tenant, and how the proposed commercial tenant would meet community needs and/or complement existing commercial uses.
- 3) (10 pts MAX) Projects that promote a walkable neighborhood that is accessible, safe, and features best practices in pedestrian safety will receive points as they compare to other proposals.
  - a. For more information, please visit the [City of Cleveland Vision Zero](#) website for studies and other reference materials.
- 4) (10 pts MAX) The Detroit Shoreway Neighborhood is an architecturally diverse neighborhood rich with cultural history. Points will be awarded based on each project's Building Design Elements as they compare to other proposals. Consideration will be given to projects that:
  - a. Pay homage to the context of the surrounding neighborhood and the history of the Watterson-Lake site
  - b. Contribute to the architectural diversity of the neighborhood
  - c. Provide building elements that meet the following criteria:
    - i. On-Site Renewable energy generation
    - ii. Sustainable and 50-year or more durable materials
    - iii. Advanced Energy Saving Technology
    - iv. Incorporation of Alternative Sources of Energy
- 5) (25 pts MAX) The City of Cleveland seeks to promote density and affordability in its housing. Points will be awarded to projects that offer a density of residential units at an affordable rate.
  - a. Affordable Housing for families making 60% of the Area Median Income or less (20 pts)
    - i. 50% or more of units are affordable (20 pts)
    - ii. 40% or more of units are affordable (17 pts)
    - iii. 30% or more of units are affordable (14 pts)
    - iv. 20% or more of units are affordable (10 pts)
    - v. 10% or more of units are affordable (5 pts)
  - b. Projects that offer residential Density (5 pts)
    - i. 125+ units (5 pts)
    - ii. 110+ units (4 pts)
    - iii. 85+ units (3 pts)
    - iv. 70+ units (2 pts)
    - v. 55+ units (1 pts)
  - c. Projects the offer Family units with 3 or 4 Bedrooms (10pts)
    - i. Project includes 10% of units with 3+ Bedrooms (6pts)
    - ii. Project Includes 5% of units with 4+ Bedrooms (4pts)



# Site & Street Photos





# Feedback / Concept Evolution

Community Presentation 1 (Nov 8)  
Advisory Committee (April 17)  
Landmarks (April 25)  
Community Presentation 2 (May 7)  
PETBOT (Sept 17)  
Advisory Committee (Oct 16)  
Landmarks (Oct 24)  
Community Presentation 3 (Jan 29)

- Corner pocket-park can be revised to a more dynamic main entrance
  - Recessed windows and entries to look more historic and in-line with neighboring buildings
  - Desire to have a city-wall on Detroit Ave.
  - Desire for the greenspace to be “a passage through a park, not a park with an alley way”
  - Materials seem cold and commercial. Investigate warm and inviting materials
  - Windows and entries of town homes could reflect the vernacular (double hung, historic)
  - Emphasis on Detroit corner should be less of an afterthought. More prominent
  - Opportunity for public and community art
  - Community garden may become overrun and unkept. Investigate other opportunities for community green spaces
- 
- *Consider different façade treatment on 74<sup>th</sup> as building becomes more residential*
  - *Additional setbacks to appear less imposing from street level*
  - *Color palette of design presented Oct 16<sup>th</sup> / 24<sup>th</sup> too cold and industrial. Reduce gray tones and choose warmer colors*
  - *Cornice details on Detroit Ave feel “busy”*
  - *Shift playground to center of the site to create privacy / noise barrier*
  - *Shield view of the parking lot from Clinton Ave*
  - *Create more convenient entrance from surface parking lot*
  - *Green space should be optimized, playground should be increased*

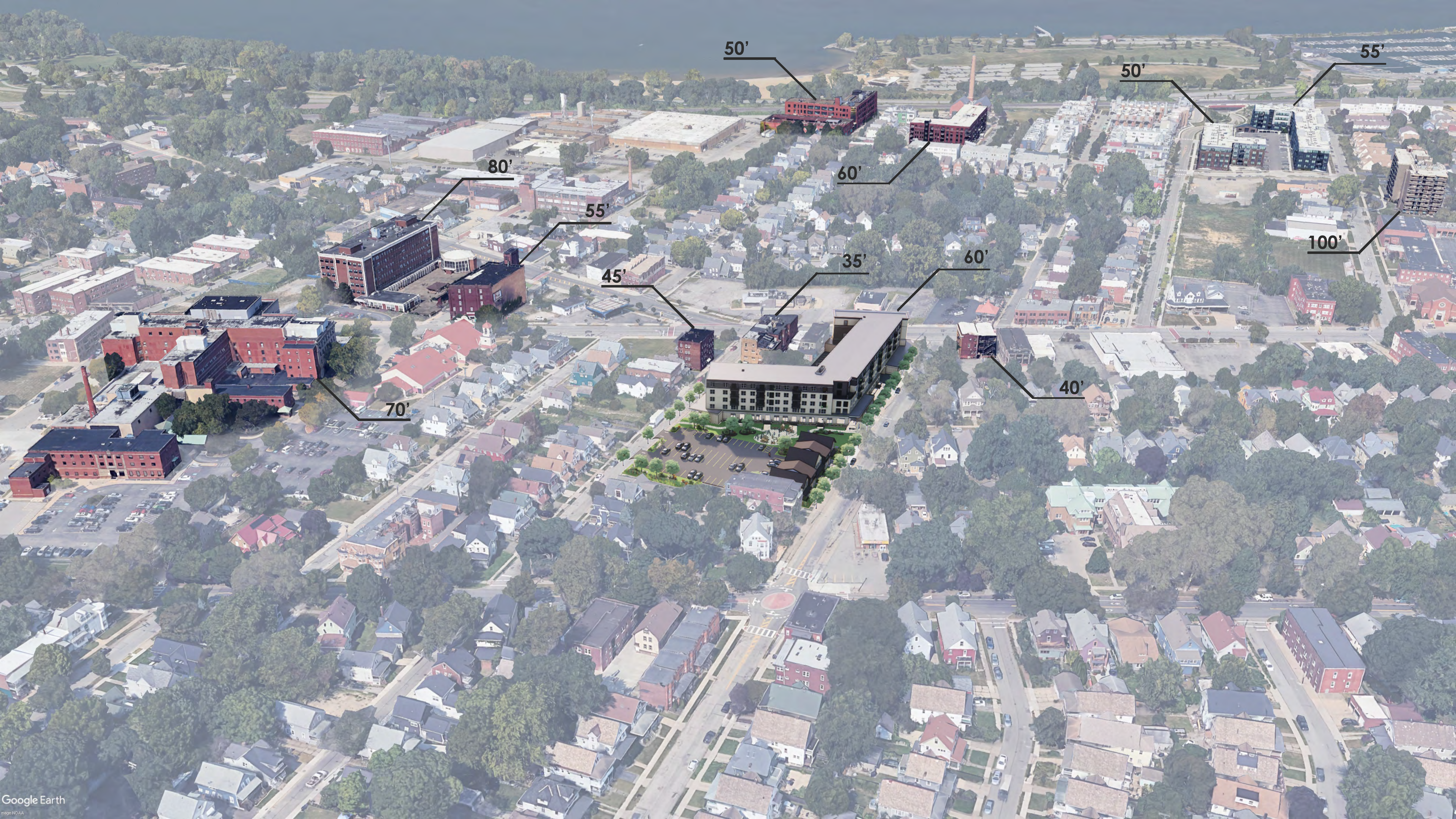




\*STREET TREES REMOVED FOR CLARITY







50'

55'

50'

80'

60'

55'

100'

45'

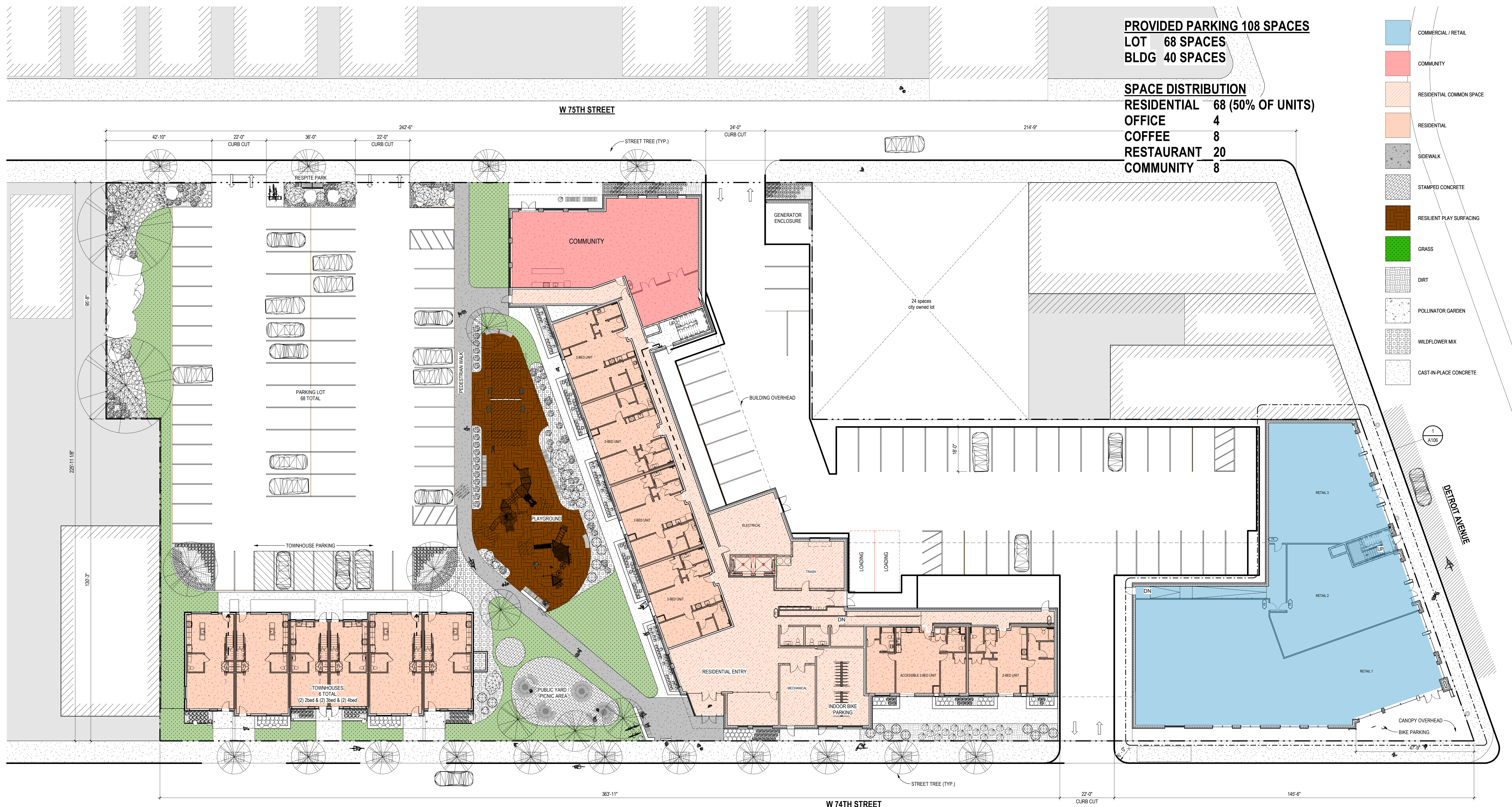
35'

60'

40'

70'





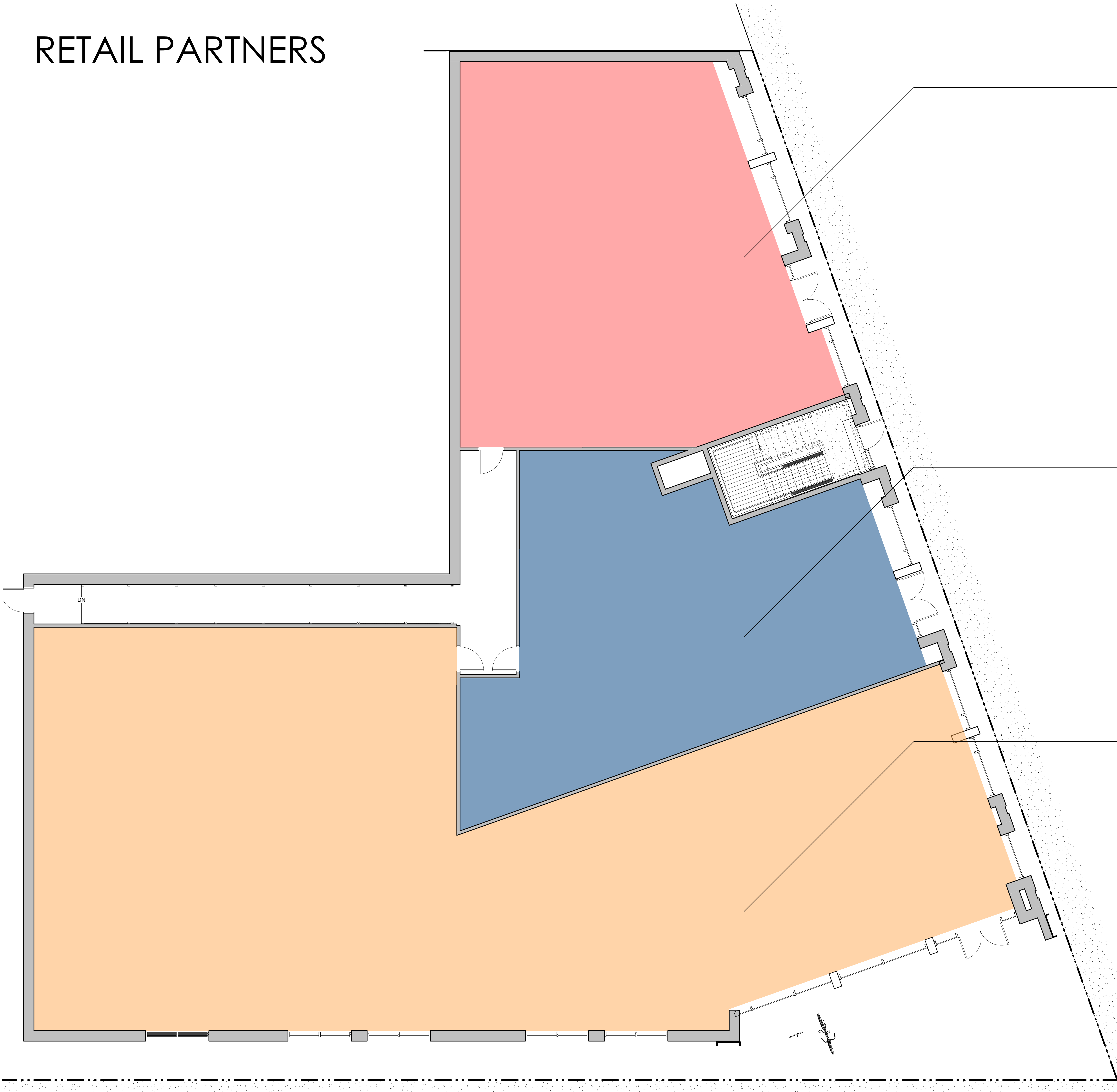
**A1 OVERALL SITE PLAN**  
 1/16" = 1'-0"

Notes	<table border="1"> <tr> <th>Issued/Revision</th> <th>By</th> <th>App'd</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Issued/Revision	By	App'd	DATE					Permit/Seal  <b>PRELIMINARY          NOT FOR          CONSTRUCTION</b> <small>Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.</small>	Consultant  Stantec <small>Stantec Architecture and Engineering LLC          400 Grant Street Suite #940          Pittsburgh, PA 15219-2722          Tel: (412) 394-7000 • www.stantec.com</small>	Client/Project Logo  Client/Project Watterson Lake Apartments, LP  Watterson Lake Development  1422 W 74th St. Cleveland, OH 44102	Title <b>OVERALL SITE PLAN</b>  Project No. 218011983  Revision Drawing No.	Scale As indicated  <b>L-101</b>
		Issued/Revision	By	App'd	DATE									
<small>Copyright Reserved          The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing. Only errors or omissions shall be reported to Stantec without delay.</small>	<table border="1"> <tr> <td>Author</td> <td>Designer</td> <td>Checker</td> <td>01/11/24</td> </tr> <tr> <td>Dwn.</td> <td>Dgn.</td> <td>Chk'd</td> <td>YYT/AM/DJ</td> </tr> </table>	Author	Designer	Checker	01/11/24	Dwn.	Dgn.	Chk'd	YYT/AM/DJ					
Author	Designer	Checker	01/11/24											
Dwn.	Dgn.	Chk'd	YYT/AM/DJ											

FILE LOCATION: PROJECT INFORMATION  
 21/218011983/10101.rvt  
 ORIGINAL SHEET - ARCH1



# RETAIL PARTNERS



FASS REAL ESTATE SERVICES



2000 SF

INDIGO CAFE POWERED BY UNBAR

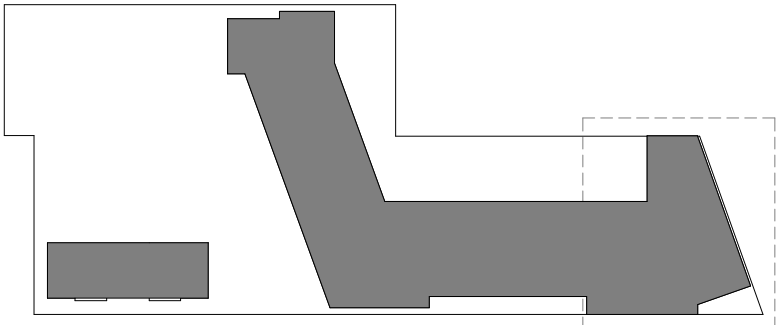


2000 SF

COYOACAN TAQUERIA & BREW



5000 SF



1 ENLARGED PLAN - COMMERCIAL / RETAIL  
A106 3/16" = 1'-0"







PLANT MATERIAL LIST						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
<b>DECIDUOUS TREE</b>						
3	AR	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL	B&B	MATCHED
17	CB	CARPINUS BETULUS	EUROPEAN HORNBEAM	2 1/2-3" CAL	B&B	MATCHED
3	CC	CERCIS CANADENSIS	EASTERN REDBUD	8-10"	B&B	TREE FORM
2	NS	NYSSA SYLVATICA	BLACK GUM	2 1/2-3" CAL	B&B	SPECIMENT
2	QP	QUERCUS PALUSTRIS	PIN OAK	2 1/2-3" CAL	B&B	MATCHED
7	TC	TILIA CORDATA	LITTLELEAF LINDEN	2 1/2-3" CAL	B&B	MATCHED
<b>PERENNIALS / GRASSES / FERNS</b>						
88	AP	ADIANTUM PEDATUM	NORTHERN MAIDENHAIR FERN	#SP4 CONT.		18" O.C.
173	DF	DESCHAMPSIA FLEXUOSA	WAVY HAIR GRASS	#1 CONT.		18" O.C.
139	EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#SP4 CONT.		18" O.C.
67	PV	PANICUM VIRGATUM	SWITCH GRASS	#1 CONT.		30" O.C.
154	RH	RUDBECKIA HIRTA	BLACK-EYED SUSAN	#SP4 CONT.		18" O.C.
171	SS	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#2 CONT.		30" O.C.
50	SH	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSOED	#SP4 CONT.		18" O.C.
<b>SHRUBS</b>						
47	CS	CORNUS SERICEA	REDTIG DOGWOOD	24-30"	#3 CONT.	4' O.C.
15	IW	ILEX VERTICILLATA	WINTERBERRY	24-30"	#3 CONT.	2.5' O.C.
5	IWJ	ILEX VERTICILLATA "JIM DANDY"	WINTERBERRY (MALE POLLINATOR)	24-30"	#3 CONT.	2.5' O.C.
11	RO	RUBUS ODORATUS	FLOWERING RASBERRY	24-30"	#3 CONT.	4' O.C.
34	VC	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	24-30"	#3 CONT.	3' O.C.
27	VR	VIBURNUM RECOGNITUM	ARRROWWOOD VIBURNUM	24-30"	#3 CONT.	4' O.C.

### SITE LIGHTING SPECS

**VCPG LED Parking Garage**

**Specifications**  
 Diameter: 19"  
 Height: 3.75"  
 Weight: 18 lbs

**Introduction**  
 The all new VCPG LED (Visually Comfortable Parking Garage) luminaire is designed to bring glare control, optical performance and energy savings into one package. The recessed lens design of VCPG LED minimizes high angle glare while its precision-molded acrylic lens eliminates LED pulsation and delivers the required micrograms, uniformity and uniformity. The dedicated up-light module option reduces the contrast between the luminaire and the ceiling creating a more visually comfortable environment.

The VCPG LED delivers up to 8% in energy savings when replacing T5W metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the VCPG LED luminaire provides significant maintenance savings over traditional luminaires.

**Mounting Options:**  
 PM - Recess Mount  
 SM - Surface Mount  
 SMW - Surface Mount with Wall Mount  
 VM - Vane Through Mount  
 AM - Arm Mount  
 PM & Pole - Mount  
 SS - Shed Mount  
 SSW - Shed Mount with Wall Mount  
 WS - Wind guard  
 HS - House side shed

**Invue**

**Quick Facts**  
 • Round form and wide variety of mounting styles to enhance any architectural design  
 • Up to 15,000 lumens  
 • 13 focus LED optic distributions  
 • 70 CRI, 4000K CCT standard, 3000K CCT options in 70 or 80 CRI  
 • 25 vibration rated  
 • Available in 120-277V/50, 60Hz, 347V/60Hz, 480V/60Hz  
 • Ambient operating temperature from -40°C to +40°C  
 • IP65 rated housing

**Decorative Luminaire Pole Configurations**

Height chart showing pole heights from 10' to 30' for various luminaire models: ICS 12' APP Pole, ICS + SS-1 12' APP Pole, ICM 24' APP Pole, ICM + SS2-2 24' APP Pole.

**ARB ARBOR POST TOP**

**DESCRIPTION**  
 The Invue Arbor post top brings architectural style to area/site and pedestrian scale applications. Its dayform appearance brings a desired organic look into the urban environment. WaveStream LED Optics provide a uniform pulsation free image, managing glare while providing high levels of visibility.

**DIMENSIONS**

**DECORATIVE LUMINAIRE POLE CONFIGURATIONS (ARB DECORATIVE POLE SHOWN)**

### PLANT MATERIAL LIST



### SITE FEATURES

**Rumba Bench, Curved, 30°**

PAR1003

**General Product Information**  
 Item no. PAR1003-0021  
 Dimensions LxWxH: 59"x27"x15"  
 Age group: -  
 Play capacity (users): 2  
 Color options: [ ]

**Available benches and tables can be dressed up with back support, armrests, tables etc. and linked together into tailored solutions for the individual location.**

**Rumba Bench, Curved 90°**

PAR1006

**General Product Information**  
 Item no. PAR1006-0021  
 Dimensions LxWxH: 42"x42"x15"  
 Age group: -  
 Play capacity (users): -  
 Color options: [ ]

**Available benches and tables can be dressed up with back support, armrests, tables etc. and linked together into tailored solutions for the individual location.**

**Rumba Bench, Straight, 6 ft**

PAR1002

**General Product Information**  
 Item no. PAR1002-0021  
 Dimensions LxWxH: 60"x18"x15"  
 Age group: -  
 Play capacity (users): -  
 Color options: [ ]

**Available benches and tables can be dressed up with back support, armrests, tables etc. and linked together into tailored solutions for the individual location.**

**Rumba Table, Round, 4 ft 3 in**

PAR1011

**General Product Information**  
 Item no. PAR1011-0021  
 Dimensions LxWxH: 43"x43"x24"  
 Age group: -  
 Play capacity (users): -  
 Color options: [ ]

**Available benches and tables can be dressed up with back support, armrests, tables etc. and linked together into tailored solutions for the individual location.**

Notes	Permit/Seal	Consultant	Client/Project Logo	Client/Project	Title

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**Stantec**

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 400 Grant Street Suite 4940  
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**Client/Project Logo**

**Client/Project**  
 Watterson Lake Apartments, LP  
 Watterson Lake Development

1422 W 74th St.  
 Cleveland, OH 44102

Author: [ ]  
 Designer: [ ]  
 Checker: [ ]  
 Date: 12/22/24  
 Title: YYY-AM-D5

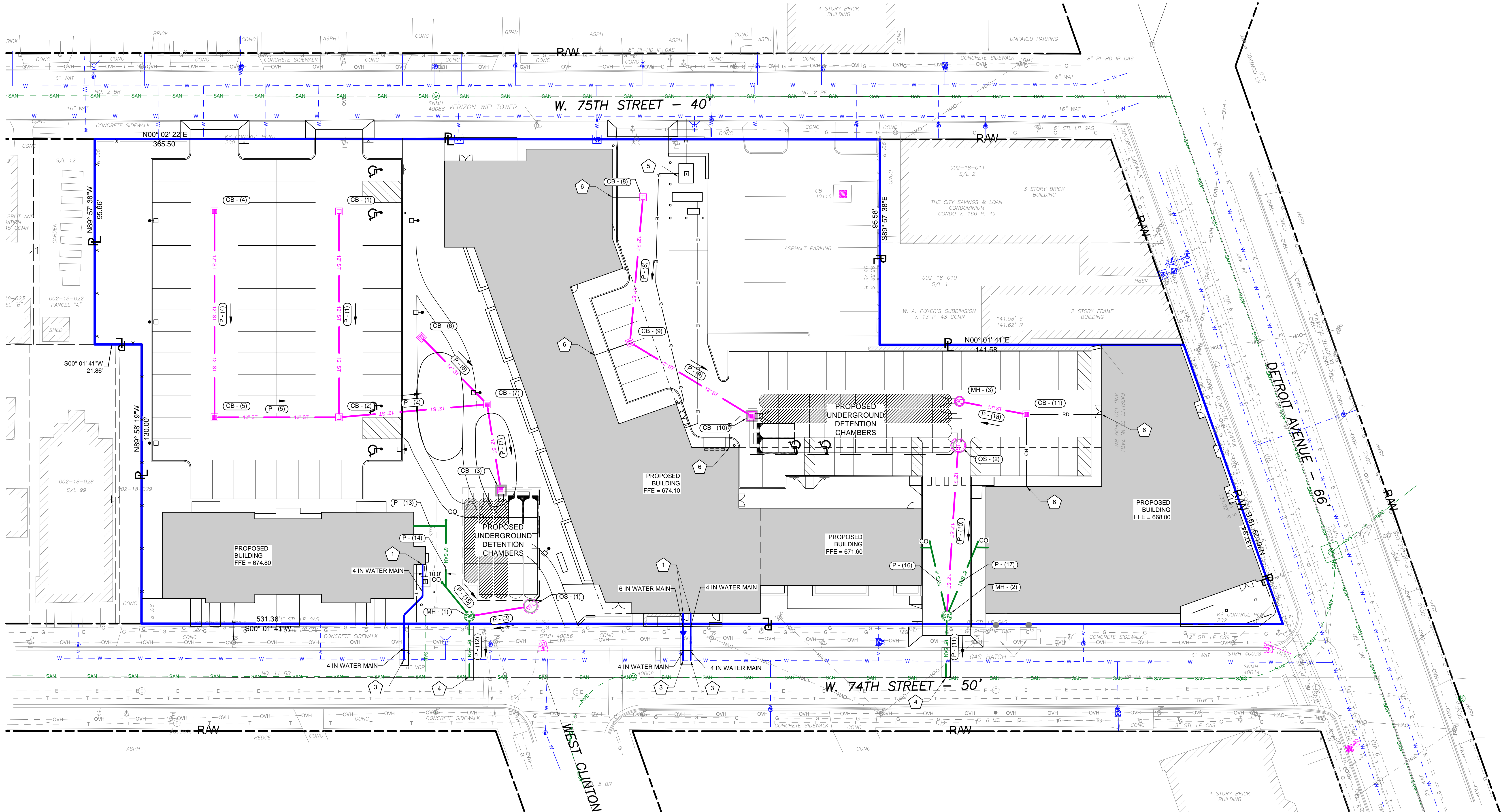
**Title**  
 PLANT LIST AND DETAILS

**Project No.**  
 218011983

**Scale**  
 -

**Drawing No.**  
 L-501





**LEGEND**

- E --- E --- EXISTING ELECTRIC
- G --- G --- EXISTING GAS
- O-V-H --- O-V-H --- EXISTING OVERHEAD LINE
- S-A-N --- S-A-N --- EXISTING SANITARY
- S-T --- S-T --- EXISTING STORM
- T --- T --- EXISTING TELEPHONE
- W --- W --- EXISTING WATER
- E --- E --- PROPOSED ELECTRIC. SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.
- G --- G --- PROPOSED GAS. SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER GAS COMPANY REQUIREMENTS.
- S-A-N --- S-A-N --- PROPOSED SANITARY
- S-T --- S-T --- PROPOSED STORM
- R-D --- R-D --- PROPOSED STORM ROOF DRAIN. SEE PLUMBING PLANS FOR SIZES.
- T --- T --- PROPOSED TELEPHONE/DATA. SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER UTILITY PROVIDER AND/OR TECHNOLOGY DESIGNER.
- W --- W --- PROPOSED WATER LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET C-602.
- F --- F --- PROPOSED FIRE LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET C-602.
- L --- L --- PROPOSED LIGHT FIXTURE. SHOWN FOR REFERENCE ONLY. SEE LIGHTING PLANS FOR DETAILS AND SPECIFICATIONS.
- G --- G --- PROPOSED GAS METER. SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS TO BE DETERMINED BY GAS COMPANY.
- T --- T --- PROPOSED TRANSFORMER. SHOWN FOR REFERENCE ONLY. FINAL LOCATION, DETAILS AND SPECIFICATIONS TO BE DETERMINED BY THE UTILITY PROVIDER AND THE ELECTRICAL ENGINEER. SEE ELECTRICAL SITE PLAN.
- C --- C --- PROPOSED CATCH BASIN (CB) CURB INLET (CI). SEE SHEET C-601 FOR DETAILS AND SPECIFICATIONS.
- C-O --- C-O --- PROPOSED CLEANOUT (CO). SEE SHEET C-600 FOR DETAILS AND SPECIFICATIONS.
- D-S --- D-S --- DOWNSPOUT. SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR FINAL LOCATION AND SIZE.

**KEY NOTES**

- 1 SEE PLUMBING PLAN FOR CONTINUATION OF WATER LINE
- 2 CONNECT TO EXISTING GAS LINE. COORDINATE WITH UTILITY COMPANY; SEE MECHANICAL PLANS FOR SIZES, ETC.
- 3 FURNISH AND INSTALL 4"X6" TAPPING SLEEVE AND VALVE. SEE DETAILS AND SPECIFICATIONS ON SHEET C-603.
- 4 TIE IN TO EXISTING SANITARY SEWER.
- 5 PROPOSED TRANSFORMER AND GENERATOR LOCATION. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.
- 6 SEE PLUMBING PLAN FOR CONTINUATION OF ROOF DRAINS.

**EXISTING SEWER INFORMATION**

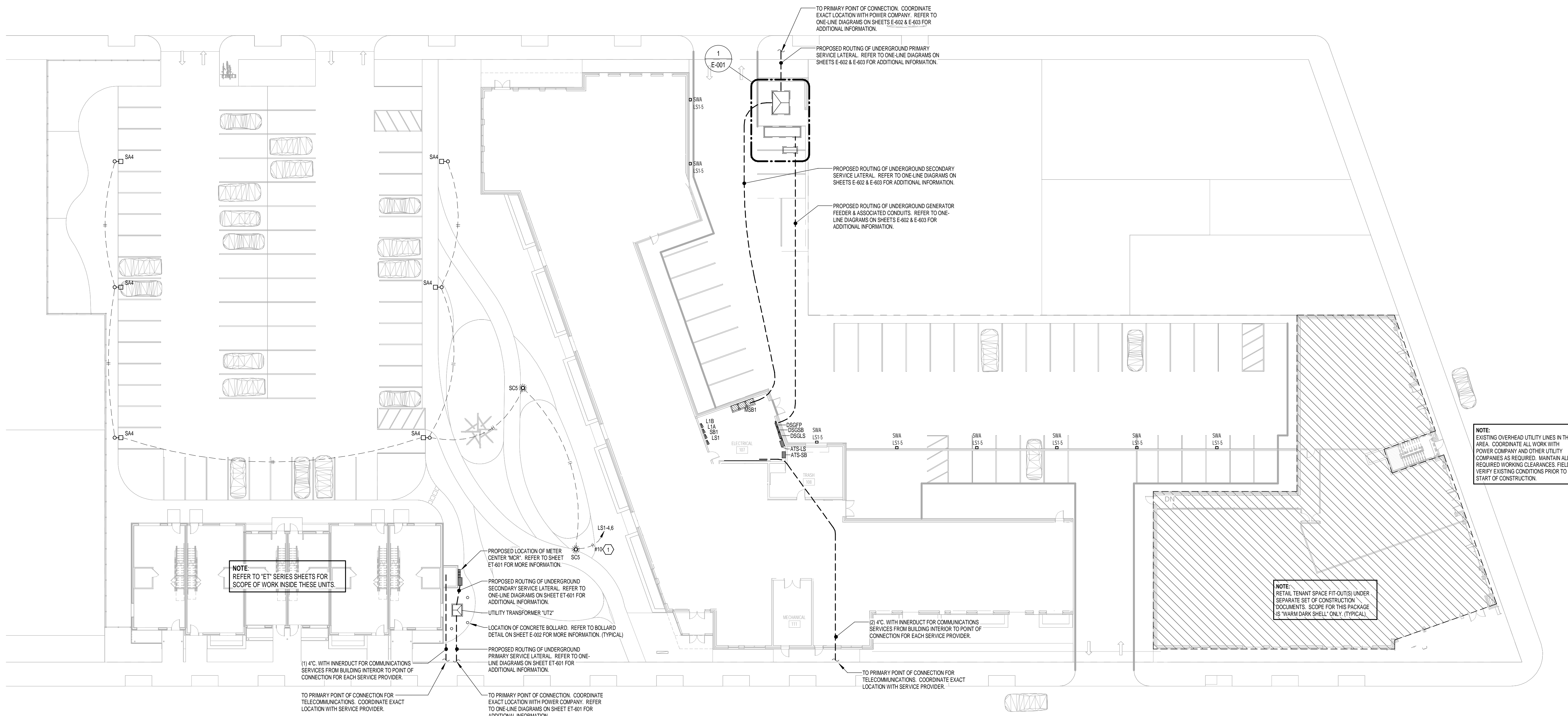
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NO PIPES VISIBLE
- CB 40116  
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TOP OF DIRT=668.08  
BOTTOM=664.98  
NO PIPES VISIBLE



I:\projects\2023\2023-134\TBA-Cat-Rev-C\2023-134 (C400) UTILITY PLAN.dwg 1/2/2024 9:16:43 AM

<p>Notes</p>	<p>Permit/Seal</p> <p style="text-align: center; font-weight: bold; transform: rotate(-45deg);">PROGRESS NOT FOR CONSTRUCTION 1/31/2025</p>	<p>Consultant</p> <p style="text-align: center;"><b>TBA</b> Thorson + Baker + Associates CONSULTING ENGINEERS 3030 West Streetboro Road Richland, Ohio 44286 (330) 659-4688 Phone (330) 659-6875 Fax</p>	<p>Client/Project Logo</p> <p style="text-align: center;"><b>Stantec</b> Stantec Architecture and Engineering LLC 600 Grant Street Suite #940 Pittsburg, PA 15219-2722 Tel: +1.555.555.1234</p>	<p>Client/Project</p> <p style="text-align: center;">Watterson Lake Apartments, LP  Watterson Lake Development</p> <p>1422 W. 74th St, Cleveland, OH 44102</p>	<p>Title</p> <p style="text-align: center;">UTILITY PLAN</p>	
<p>Issued/Revision</p>	<p>By</p>	<p>Appr</p>	<p>2025.01.31 YYYY.MM.DD</p>	<p>File Name: N/A</p> <p style="font-size: small;">The Copyright to all designs and drawings on the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing. Any errors or omissions shall be reported to Stantec without delay.</p>	<p>Project No. 218011983</p> <p>Revision</p>	<p>Scale 1" = 20'</p> <p>Drawing No. <b>C-400</b></p>





**NOTE**  
REFER TO 'E' SERIES SHEETS FOR SCOPE OF WORK INSIDE THESE UNITS.

**NOTE**  
EXISTING OVERHEAD UTILITY LINES IN THIS AREA. COORDINATE ALL WORK WITH POWER COMPANY AND OTHER UTILITY COMPANIES AS REQUIRED. MAINTAIN ALL REQUIRED WORKING CLEARANCES. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.

**NOTE**  
RETAIL TENANT SPACE FIT-OUTS UNDER SEPARATE SET OF CONSTRUCTION DOCUMENTS. SCOPE FOR THIS PACKAGE IS "WARM DARK SHELL" ONLY (TYPICAL).

### ELECTRICAL SITE PLAN

1" = 20'-0"

- CODED NOTES:**
1. WIRE SIZE TO RUN THROUGH ENTIRE LENGTH OF CIRCUIT.

**SITE LOW VOLTAGE/TECHNOLOGY SYSTEM PATHWAY REQUIREMENTS:**

1. CONDUIT RUNS FOR UNDERGROUND DUCT BANKS MAY EXTEND 300 FEET (MAX) BEFORE A PULL BOX, HAND HOLE OR MANHOLE IS REQUIRED.
2. PROVIDE PULL BOX, HAND HOLE OR MANHOLE AFTER EVERY TWO (2) 90 DEGREE BENDS OR 180 DEGREES OF BENDS, INCLUDING OFFSETS.
3. BENDS TO BE LONG-SWEEP BENDS, BUT IN NO CASE SHALL A BEND BE LESS THAN 10 TIMES OUTSIDE DIAMETER OF CONDUIT.
4. ALL 90 DEGREE BENDS TO BE EITHER PVC CONCRETE ENCASED OR GALVANIZED RIGID STEEL.
5. SLOPE CONDUITS AWAY FROM BUILDING TOWARD MANHOLE OR HAND HOLE.
6. PVC DUCT SHALL STOP 5 FEET FROM CONCRETE MANHOLE AND TRANSITIONED TO RIGID GALVANIZED STEEL CONDUIT TO PENETRATE MANHOLE. ALTERNATIVELY, IF PVC CONDUIT PROCEEDS TO MANHOLE, CONCRETE DUCT SHALL BE PINNED WITH REBAR TO MANHOLE FACE TO PREVENT SHEARING OR SEPARATION OF DUCT FROM MANHOLE.
7. CONCRETE DUCT ENCASED CONDUIT SHALL BE PINNED TO FOUNDATION WALL TO PREVENT SHEARING.
8. WHERE SMALLER HAND HOLES ARE USED, CONCRETE AND PINNING ARE NOT REQUIRED.
9. FLEXIBLE NONMETALLIC INNERDUCT AND FITTINGS SHALL BE USED.
  - A. TO SEGMENT CONDUITS
  - B. AS PROTECTION TO FIBER OPTIC CABLES WHEN INSTALLED IN CABLE TRAY OR BUILDING STRUCTURE
  - C. AS PROTECTION TO FIBER OPTIC CABLES WITHIN MDF AND TRS
10. INNERDUCT SHALL EXTEND TO EQUIPMENT RACKS AT SYSTEM ENDPOINTS.
11. WHERE NOT INSTALLED IN CONTINUOUS LENGTH, SPlice INNERDUCT SEGMENTS USING COUPLINGS DESIGNED FOR THAT PURPOSE.
12. EMPTY INNERDUCT SHALL BE EQUIPPED WITH PULL CORD AND CAPPED AT BOTH ENDS. PULL CORD TO EXTEND BEYOND CAP FOR ACCESSIBILITY. PULL CORD TO BE LABELED AT EACH END.

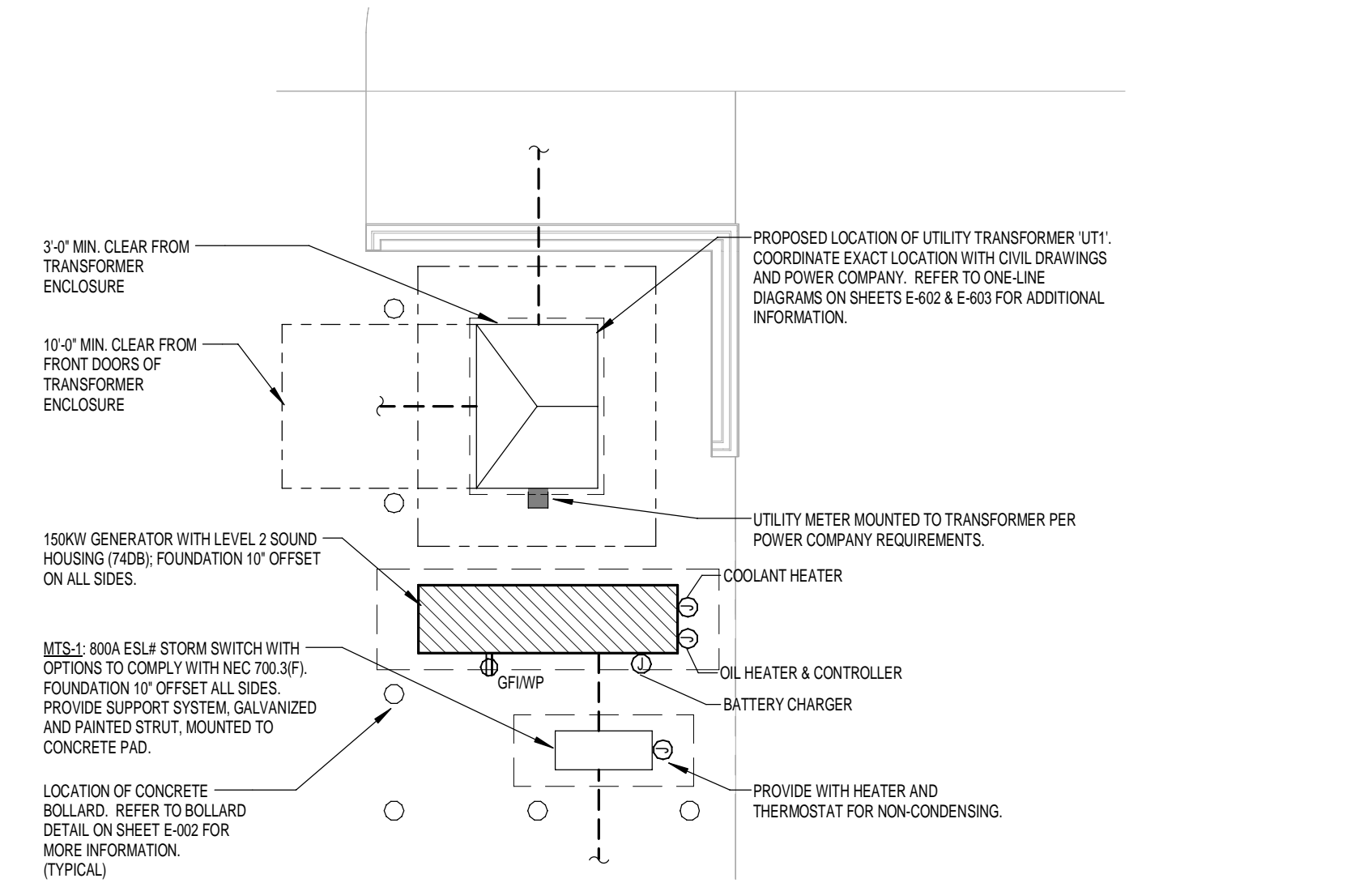
**SITE PLAN GENERAL NOTES:**

1. REFERENCE ARCHITECTURAL PLUMBING FOR ADDITIONAL INFORMATION RELATED TO THE ELECTRICAL INSTALLATION.
2. REFERENCE MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE ELECTRICAL WORK WITH OTHER TRADES.
3. WHERE THE UTILITY TRANSFORMER, SWITCHING AND/OR METERING EQUIPMENT SHALL BE INSTALLED PAD-MOUNTED IN A PAVED AREA ACCESSIBLE TO VEHICULAR TRAFFIC, THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL CONCRETE FILLED BOLLARDS AROUND ALL SUCH ELECTRICAL EQUIPMENT. PROVIDE BOLLARDS AT ALL ACCESSIBLE CORNERS OF EQUIPMENT WITH ADDITIONAL BOLLARDS IN BETWEEN AS REQUIRED FOR A MAXIMUM SPACING OF 4'-0" O.C. VERIFY EXACT LOCATION OF BOLLARDS WITH ENGINEER PRIOR TO INSTALLATION. MAINTAIN ALL REQUIRED CLEARANCE AND ACCESS REQUIREMENTS PER POWER COMPANY, CODE AND LOCAL AUTHORITY HAVING JURISDICTION.
4. MINIMUM UNDERGROUND CONDUIT SIZE SHALL BE 1 INCH UNLESS OTHERWISE INDICATED.
5. TELEPHONE, DATA, CABLE TV, AND ELECTRIC UTILITY DUCT BANKS SHALL BE INSTALLED PER RESPECTIVE UTILITY COMPANIES REQUIREMENTS.
6. CAP ALL CONDUIT STUDS AND MARK ENDS WITH IRON PINS.
7. PROVIDE PULL-WIRE IN ALL DUCT BANKS.
8. PROVIDE METALLIC MARKING TAPE OVER ALL DUCTS/DUCT BANKS.
9. TOP OF ELECTRICAL DUCT BANK SHALL BE A MINIMUM OF 6" BELOW FINISHED GRADE, TOP OF TELEPHONE, DATA, CABLE TV (COMMUNICATIONS) DUCT BANKS SHALL BE A MINIMUM OF 24" BELOW FINISHED GRADE, UNLESS OTHERWISE REQUIRED BY RESPECTIVE UTILITY COMPANIES.
10. CONCRETE ENCASED DUCT BANKS AND/OR CONDUIT WHERE ROUTED UNDER DRIVEWAYS, ROADWAYS OR PARKING AREAS.
11. COORDINATE ROUTING AND INSTALLATION OF PROPOSED ELECTRIC PRIMARY, ELECTRIC SECONDARY, AND COMMUNICATION DUCTBANKS. WHERE DUCTBANKS CROSS PATHS MAKE NECESSARY ADJUSTMENTS TO BURIAL DEPTH AND DUCTBANK CONFIGURATION TO MAINTAIN CODE REQUIRED DEPTHS FROM TOP OF DUCTBANK TO FINISHED GRADE.
12. CONTRACTOR SHALL OBTAIN THE SERVICES OF A LICENSED SURVEYOR TO IDENTIFY, COORDINATE AND RECORD EXACT LOCATIONS OF UNDERGROUND UTILITIES. RECORD DRAWINGS (HARD COPIES AND ELECTRONIC CAD FILES) SHALL BE PROVIDED TO OWNER.
13. REFERENCE CIVIL UTILITY PLANS FOR SITE UTILITY DESIGN INFORMATION. COORDINATE WORK WITH OTHER TRADES.
14. ALL TRENCHING AND BACKFILLING ASSOCIATED WITH ELECTRICAL WORK SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTORS BID.
15. WHERE DEVICES AND EQUIPMENT ARE SUBJECT TO WATER AND OR MOISTURE, THE DEVICE OR ASSOCIATED CIRCUIT SHALL BE GFI PROTECTED. EQUIPMENT ENCLOSURES SHALL BE NEMA 3R RATED AT A MINIMUM.
16. REFERENCE SITE ELECTRICAL NOTES, DRAWING E-002.
17. COORDINATE FINAL LOCATION OF ALL ELECTRICAL DEVICES AND EQUIPMENT WITHIN LANDSCAPED AND HARDSAPED AREAS WITH ARCHITECT AND LANDSCAPE/HARDSCAPE ARCHITECT DRAWINGS PRIOR TO INSTALLATION.
18. REFER TO ONE-LINE DIAGRAM ON SHEET E-002 FOR CONDUIT SIZES AND QUANTITIES ASSOCIATED WITH THE UNDERGROUND PRIMARY AND SECONDARY SERVICE LATERAL DUCT BANKS.
19. ALL CONDUIT IN UNDERGROUND DUCT BANKS SHALL BE SUPPORTED WITH BASE AND INTERMEDIATE DUCT SPACERS.

**NOTE:**  
PROPOSED ELECTRICAL & TELECOMMUNICATIONS UTILITY ROUTING AND POINT OF CONNECTION LOCATIONS ARE UNKNOWING. E.C. SHALL COORDINATE EXACT ROUTING IN FIELD WITH CIVIL ENGINEER, LOCAL POWER COMPANY, AND LOCAL TELECOM UTILITY COMPANIES. E.C. SHALL VERIFY ALL REQUIREMENTS WITH LOCAL POWER COMPANY AND LOCAL TELECOM UTILITY COMPANIES PRIOR TO BEGINNING WORK.

**NOTE:**  
INCOMING ELECTRICAL & TELECOMMUNICATIONS SERVICES TO BE DESIGNED BY LOCAL UTILITY COMPANIES AT A LATER DATE, INCLUDING TRANSFORMER LOCATIONS, PRIMARY CONDUIT ROUTING, TRENCHING, ETC. E.C. SHALL VERIFY ALL REQUIREMENTS WITH LOCAL POWER COMPANY AND LOCAL TELECOM UTILITY COMPANIES PRIOR TO BEGINNING WORK.

**NOTE:**  
ALL ELECTRICAL EQUIPMENT LOCATIONS AND CONDUIT ROUTING ARE PRELIMINARY.



**1 ENLARGED GENERATOR & UTILITY TRANSFORMER "UT1" PLAN**  
1/8" = 1'-0"

<p>Notes</p>	<table border="1"> <tr> <th>Issued/Revision</th> <th>By</th> <th>App'd</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Issued/Revision	By	App'd	DATE					<p>Permit/Seal</p> <p><b>PROGRESS NOT FOR CONSTRUCTION</b> 01/13/2025</p>	<p>Consultant</p> <p><b>TBA</b> Thorson-Baker + Associates CONSULTING ENGINEERS 3030 West Stroschero Road Richfield, Ohio 44295 (330) 659-6688 Phone (330) 659-6675 Fax</p>	<p>Client/Project Logo</p> <p><b>Stantec</b> Stantec Architecture and Engineering LLC 400 Grant Street Suite #940 Pittsburgh, PA 15219-2722 Tel: (412) 394-7000 • www.stantec.com</p> <p>Copyright Reserved <small>The Copyright in all design and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is prohibited. The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing. Any errors or omissions shall be reported to Stantec without delay.</small></p>	<p>Client/Project</p> <p>Watterson Lake Apartments, LP Watterson Lake Development</p> <p>1422 W 74th St Cleveland, OH 44102</p>	<p>Client/Project</p> <p>Watterson Lake Apartments, LP Watterson Lake Development</p> <p>1422 W 74th St Cleveland, OH 44102</p>	<p>Title</p> <p><b>ELECTRICAL SITE PLAN</b></p> <p>Project No. 218011983 Revision Scale As indicated Drawing No. E-001</p>
Issued/Revision	By	App'd	DATE												



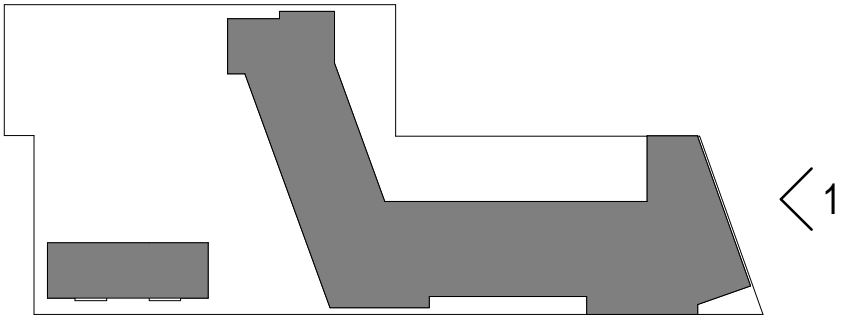
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# NORTH ELEVATION - DETROIT AVE



1 ELEVATION - NORTH  
A100 1/4" = 1'-0"





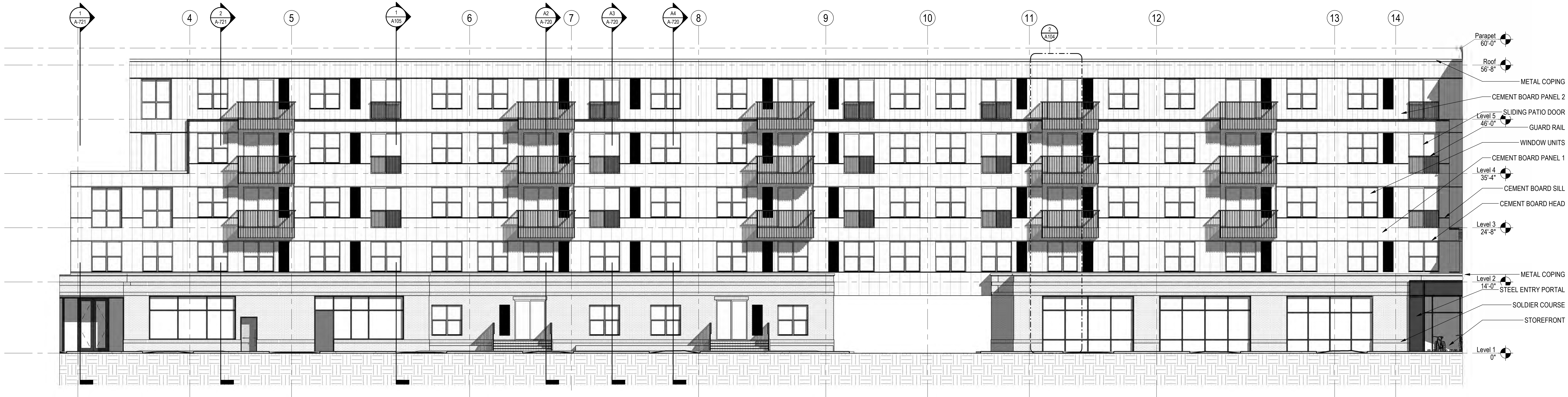


**AVALANCHE**  
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DIGITAL ADVERTISING  
PHOTO/VIDEO PRODUCTION  
SEO SERVICES  
SOCIAL MEDIA MARKETING  
WEB DESIGN

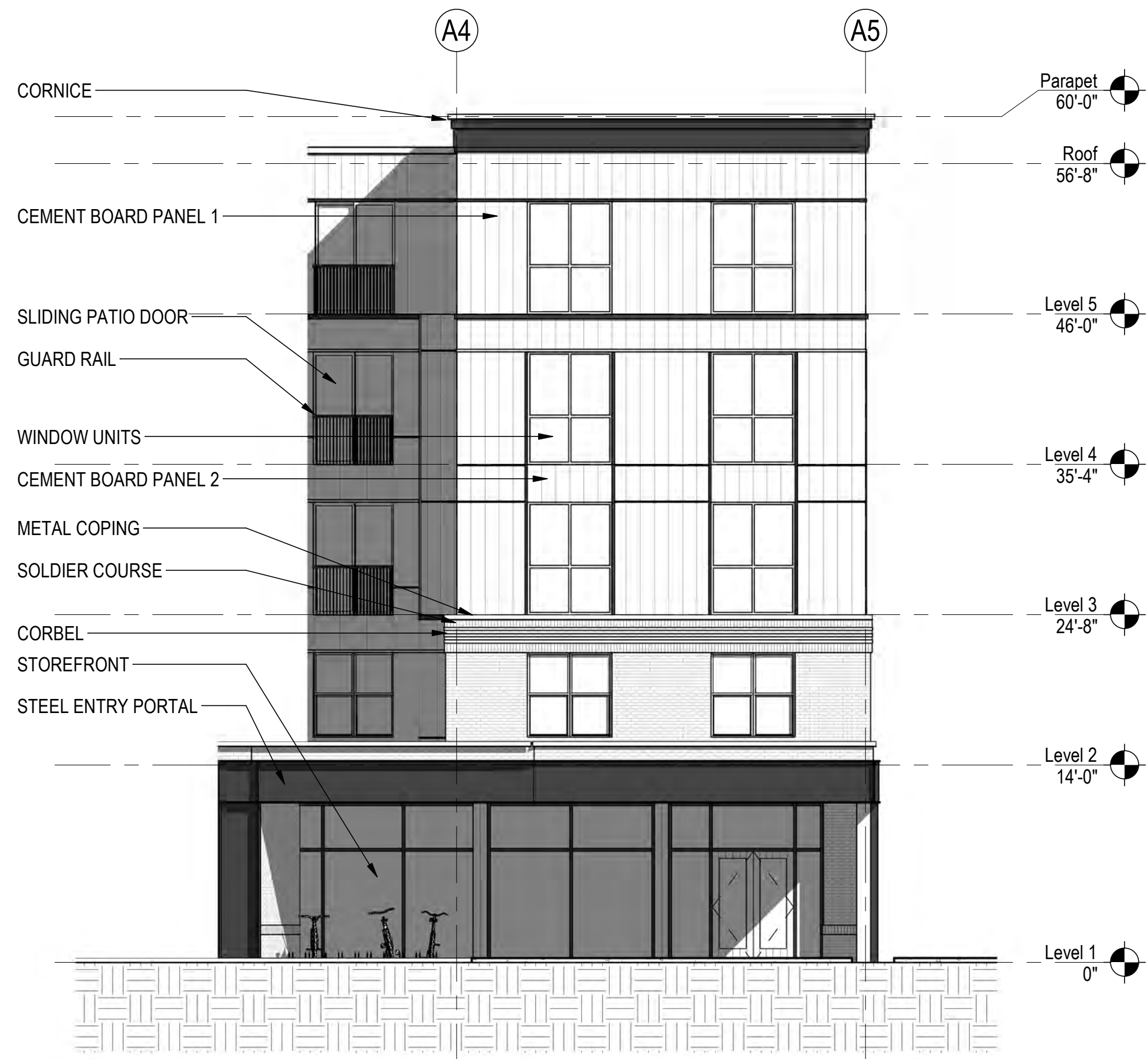
**UNITY!**



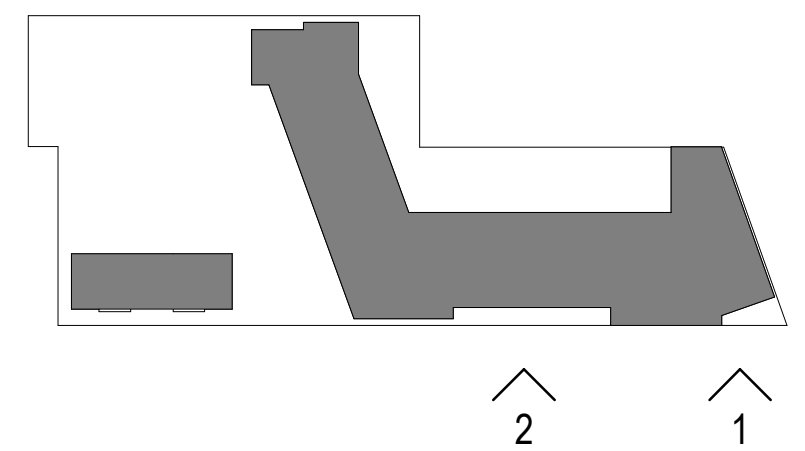
# EAST ELEVATION - W 74TH ST



**2 ELEVATION - EAST**  
A101 1/8" = 1'-0"



**1 ELEVATION - EAST**  
A101 1/8" = 1'-0"





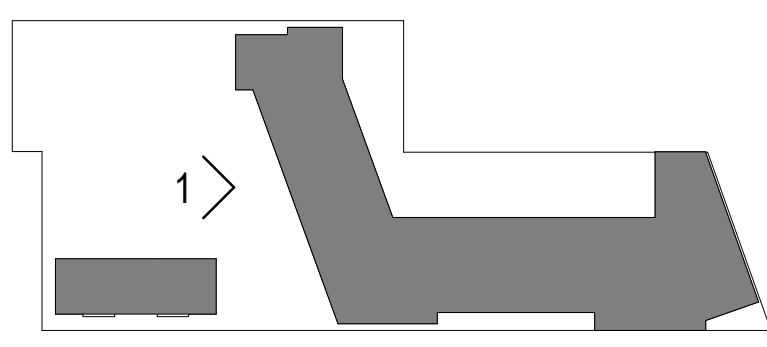




# SOUTH ELEVATION - CLINTON AVE



**1** ELEVATION - SOUTH  
A102 1/8" = 1'-0"





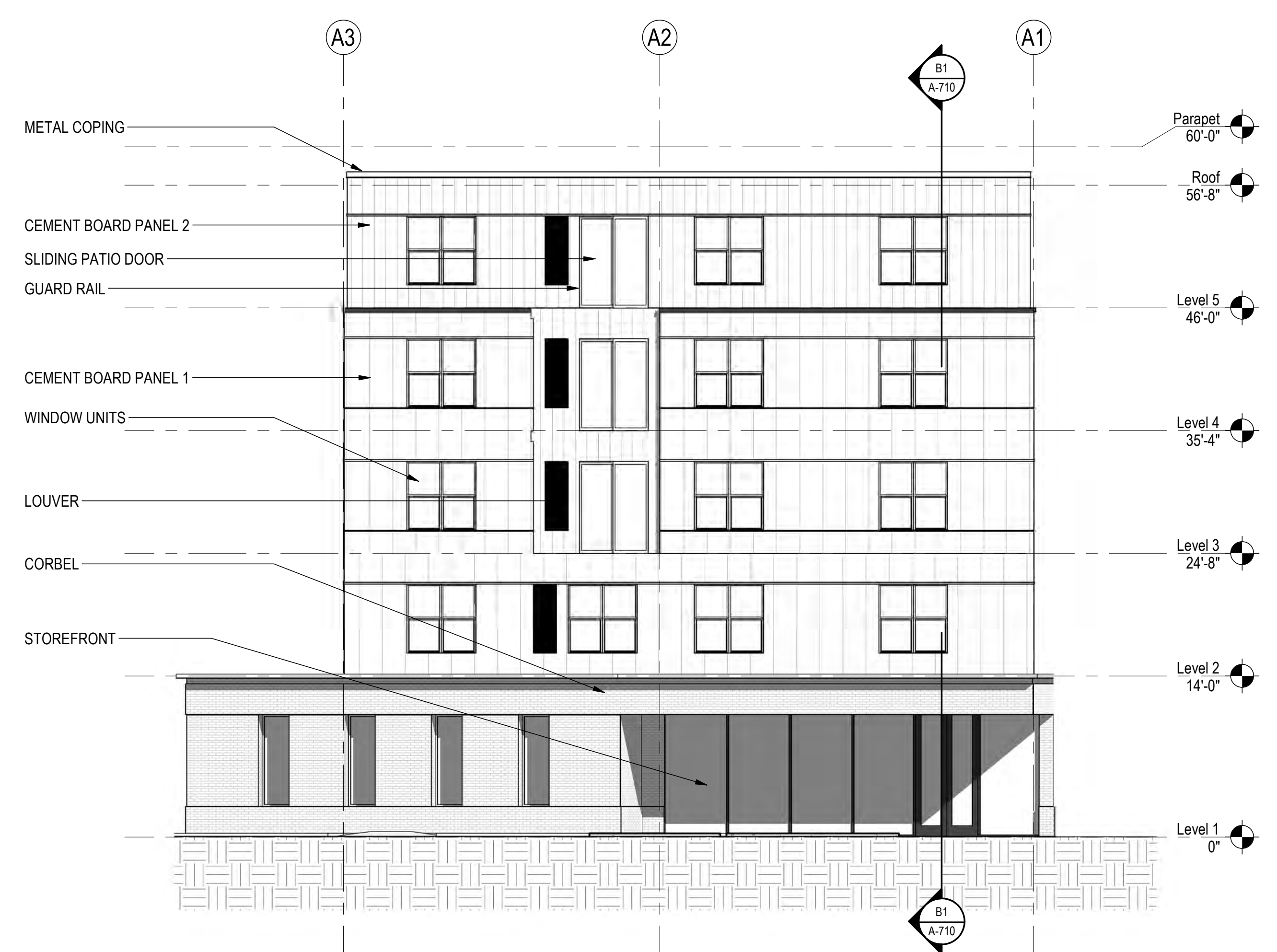




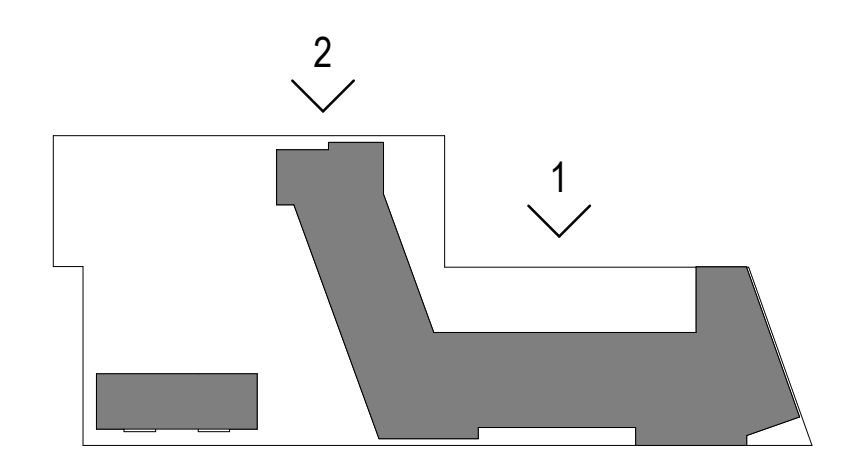
# WEST ELEVATION - W 75TH ST



**1 ELEVATION - WEST**  
A103 1/8" = 1'-0"



**2 ELEVATION - WEST**  
A103 1/8" = 1'-0"

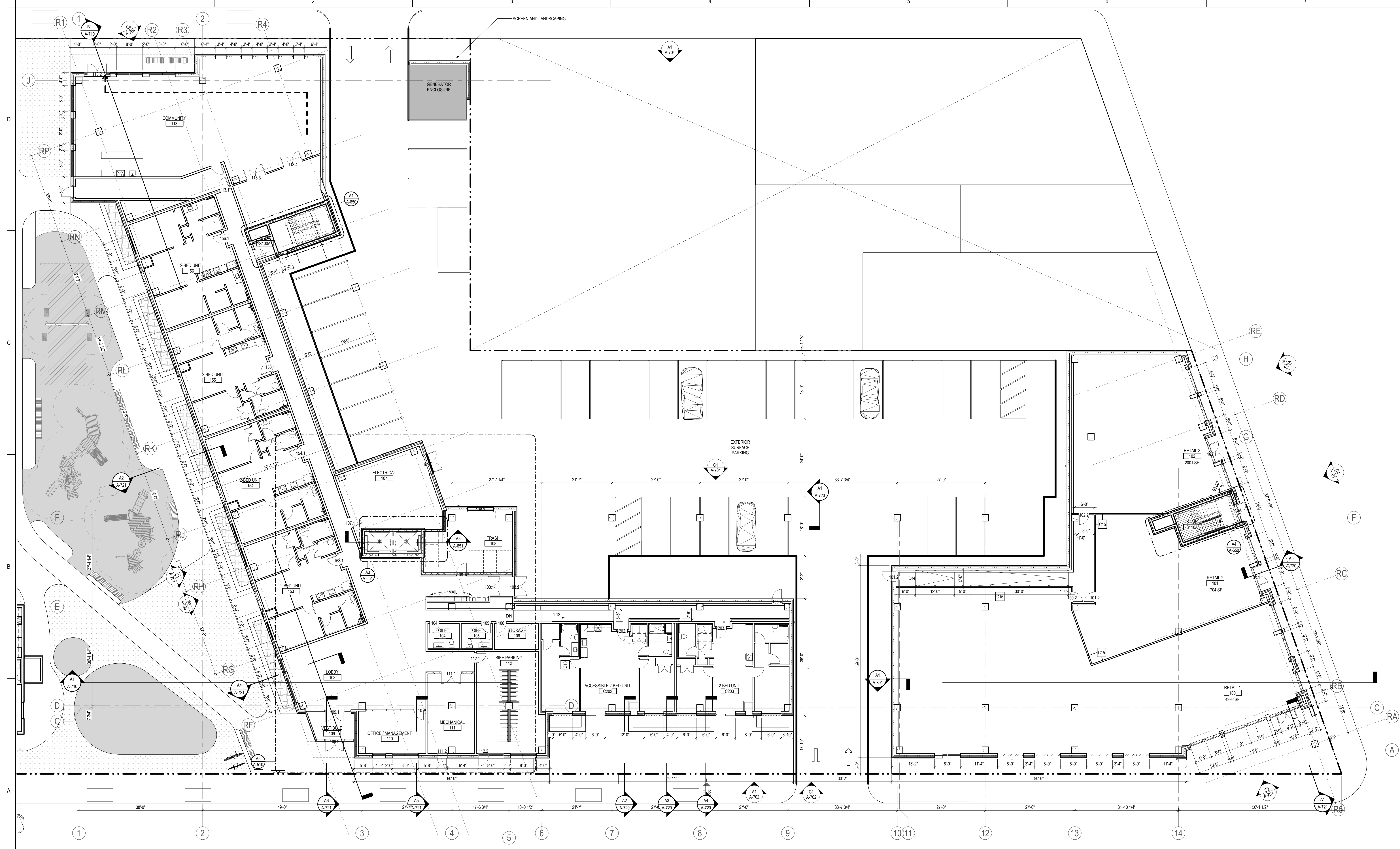




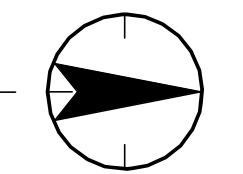
\*STREET TREES REMOVED FOR CLARITY







**A1 LEVEL 1 - FLOOR PLAN**  
 A-201 3/32" = 1'-0"

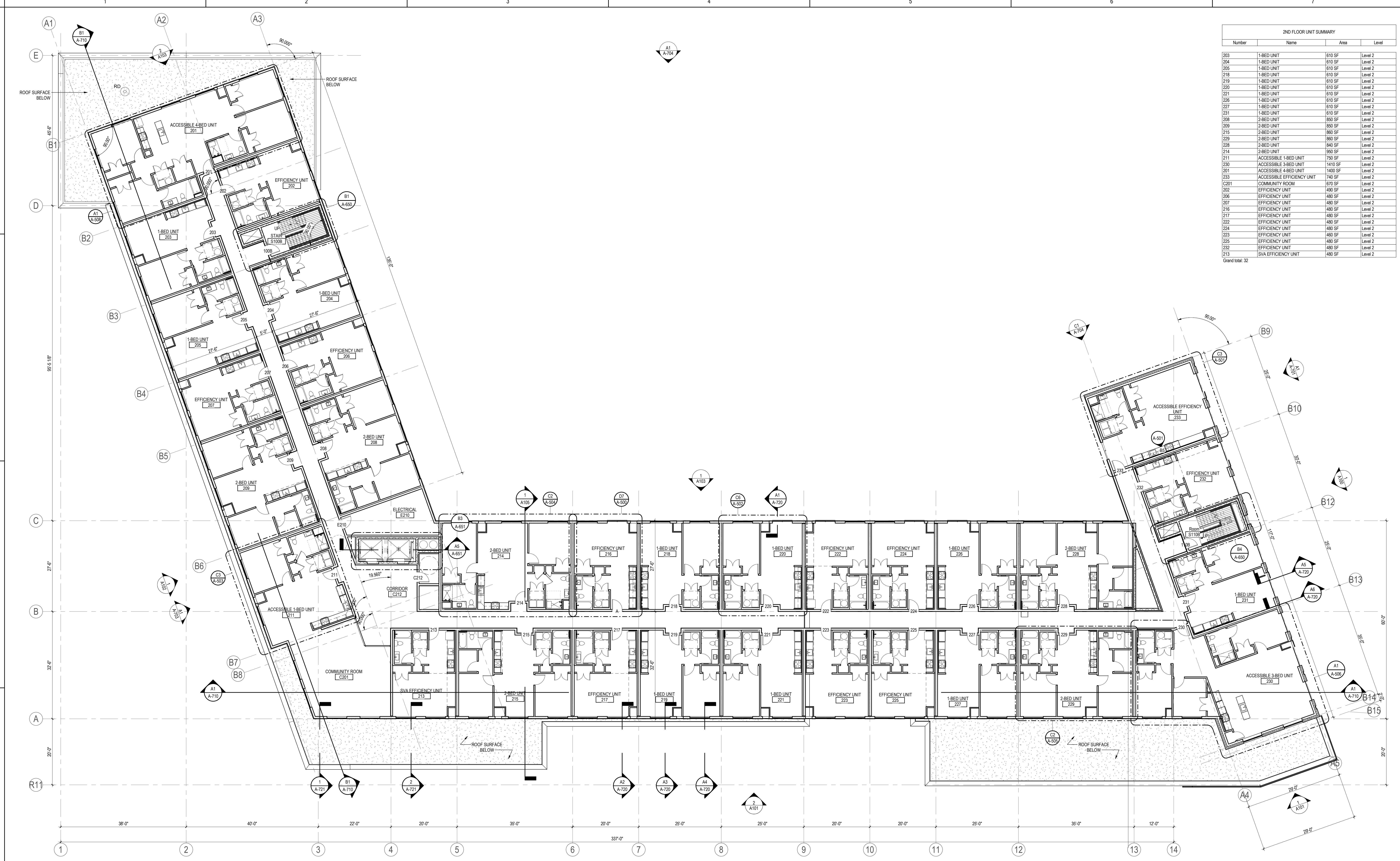


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<p>Permit/Seal</p> <p><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p> <p><small>Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.</small></p>	<p>Consultant</p> <p><b>Stantec</b></p> <p><small>Stantec Architecture and Engineering LLC          400 Grant Street Suite 4940          Pittsburgh, PA 15219-2722          Tel: (412) 394-7000 • www.stantec.com</small></p> <p>Copyright Reserved</p> <p><small>The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing. Only errors or omissions shall be reported to Stantec without delay.</small></p>					

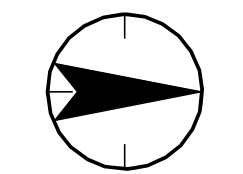
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 ORIGINAL SHEET - ARCH1



2ND FLOOR UNIT SUMMARY			
Number	Name	Area	Level
203	1-BED UNIT	610 SF	Level 2
204	1-BED UNIT	610 SF	Level 2
205	1-BED UNIT	610 SF	Level 2
218	1-BED UNIT	610 SF	Level 2
219	1-BED UNIT	610 SF	Level 2
220	1-BED UNIT	610 SF	Level 2
221	1-BED UNIT	610 SF	Level 2
226	1-BED UNIT	610 SF	Level 2
227	1-BED UNIT	610 SF	Level 2
231	1-BED UNIT	610 SF	Level 2
208	2-BED UNIT	850 SF	Level 2
209	2-BED UNIT	850 SF	Level 2
215	2-BED UNIT	850 SF	Level 2
229	2-BED UNIT	850 SF	Level 2
228	2-BED UNIT	840 SF	Level 2
214	2-BED UNIT	950 SF	Level 2
211	ACCESSIBLE 1-BED UNIT	130 SF	Level 2
230	ACCESSIBLE 3-BED UNIT	1410 SF	Level 2
201	ACCESSIBLE 4-BED UNIT	1400 SF	Level 2
233	ACCESSIBLE EFFICIENCY UNIT	740 SF	Level 2
C201	COMMUNITY ROOM	670 SF	Level 2
202	EFFICIENCY UNIT	490 SF	Level 2
206	EFFICIENCY UNIT	480 SF	Level 2
207	EFFICIENCY UNIT	480 SF	Level 2
216	EFFICIENCY UNIT	480 SF	Level 2
217	EFFICIENCY UNIT	480 SF	Level 2
222	EFFICIENCY UNIT	480 SF	Level 2
224	EFFICIENCY UNIT	480 SF	Level 2
225	EFFICIENCY UNIT	480 SF	Level 2
225	EFFICIENCY UNIT	480 SF	Level 2
232	EFFICIENCY UNIT	480 SF	Level 2
213	SVA EFFICIENCY UNIT	480 SF	Level 2
Grand total: 32			



**A1 LEVEL 2 - FLOOR PLAN (TYPICAL 2-5)**  
 A-202 3/32" = 1'-0"



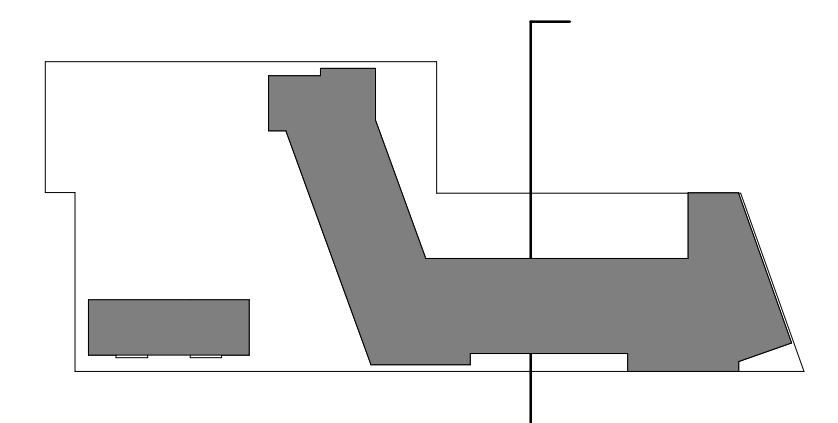
Notes	Permit/Seal	Consultant	Client/Project Logo	Client/Project	Title			
	<p align="center"><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p> <p align="center"><small>Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.</small></p>	<p align="center"><b>Stantec</b></p> <p align="center"><small>Stantec Architecture and Engineering LLC 450 Grant Street Suite #940 Pittsburgh, PA 15219-2722 Tel: (412) 394-7000 • www.stantec.com</small></p> <p align="center"><small>Copyright Reserved The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing. Only errors or omissions shall be reported to Stantec without delay.</small></p>	<p>Client/Project Watterson Lake Apartments, LP</p> <p>Watterson Lake Development</p> <p>1422 W 74th St. Cleveland, OH 441102</p>	<p>Client/Project Watterson Lake Apartments, LP</p> <p>Watterson Lake Development</p> <p>1422 W 74th St. Cleveland, OH 441102</p>	<p>SECOND FLOOR PLAN</p> <p>Project No. 218011983 Revision</p> <p>Scale 3/32" = 1'-0" Drawing No. <b>A-202</b></p>			
Issued/Revision	By	App'd	YYYY-MM-DD	Author	Designer	Checker	2023.09.20	YYYY-MM-DD



# SITE SECTION



1 SITE SECTION - BUILDING SETBACK  
A105 1" = 10'-0"





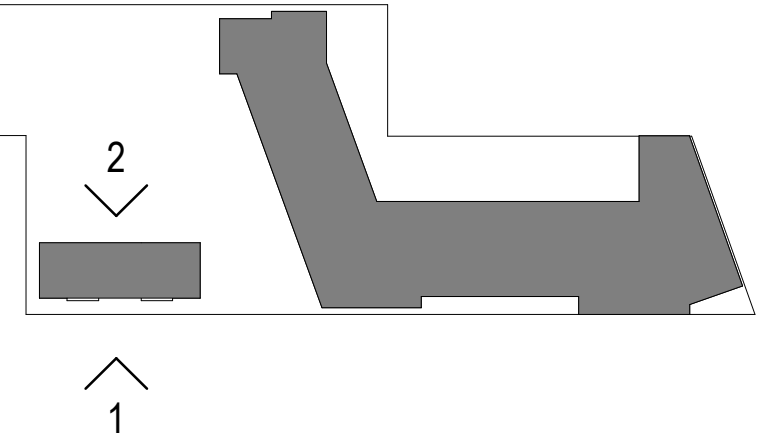
# ELEVATION - TOWNHOMES



**1 ELEVATION - EAST**  
A104 1/4" = 1'-0"



**2 ELEVATION - WEST**  
A104 1/4" = 1'-0"

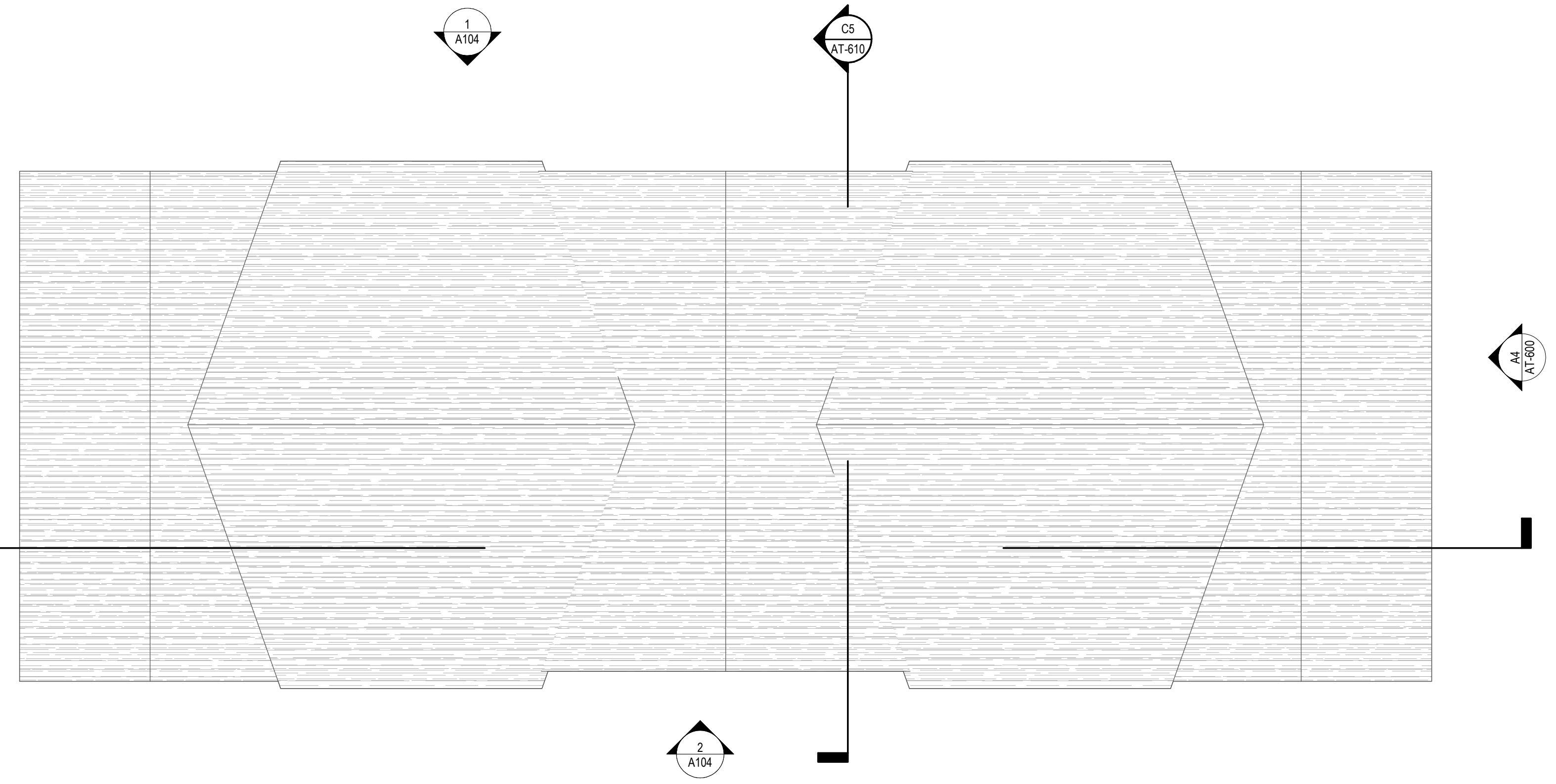




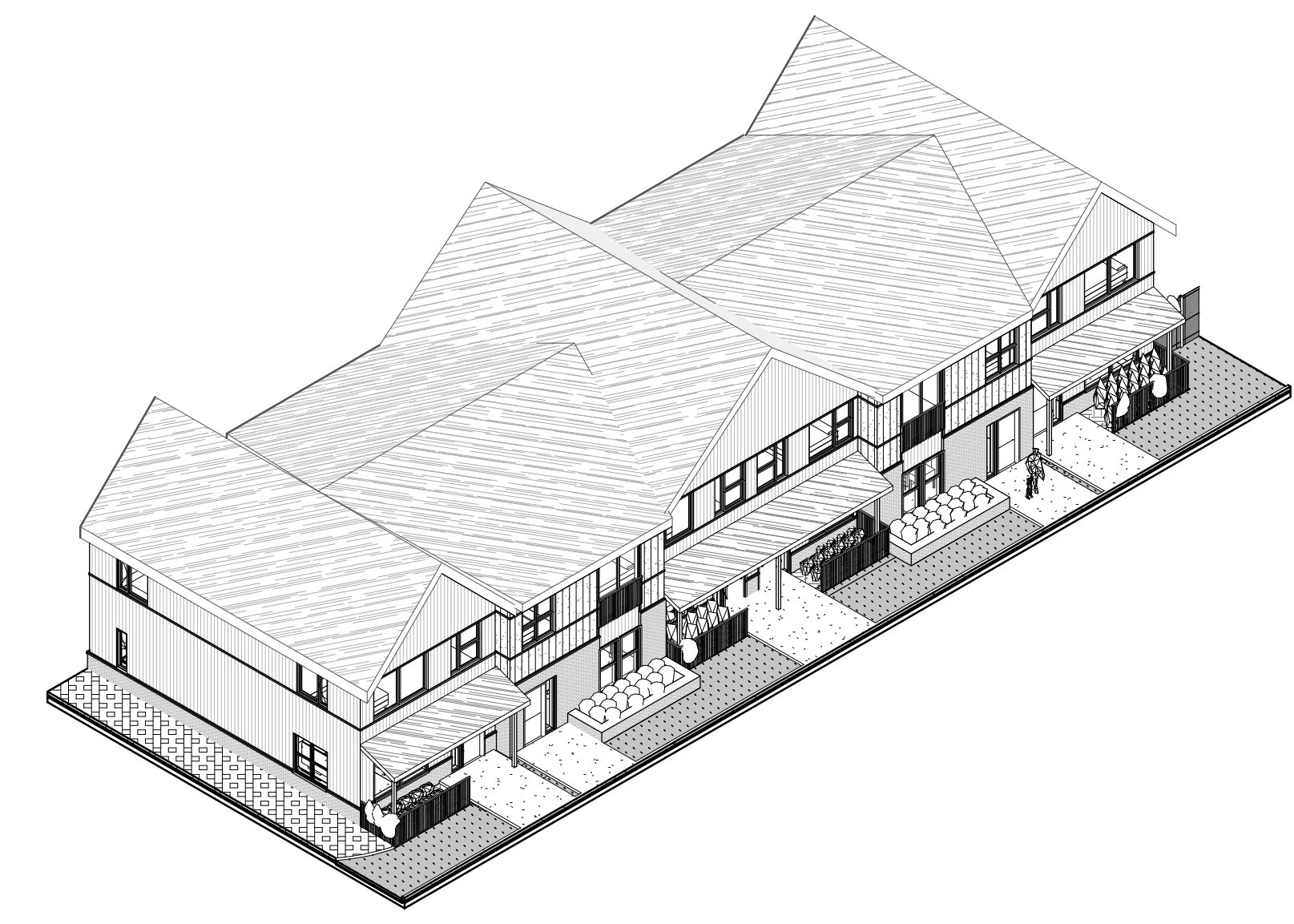
\*STREET TREES REMOVED FOR CLARITY



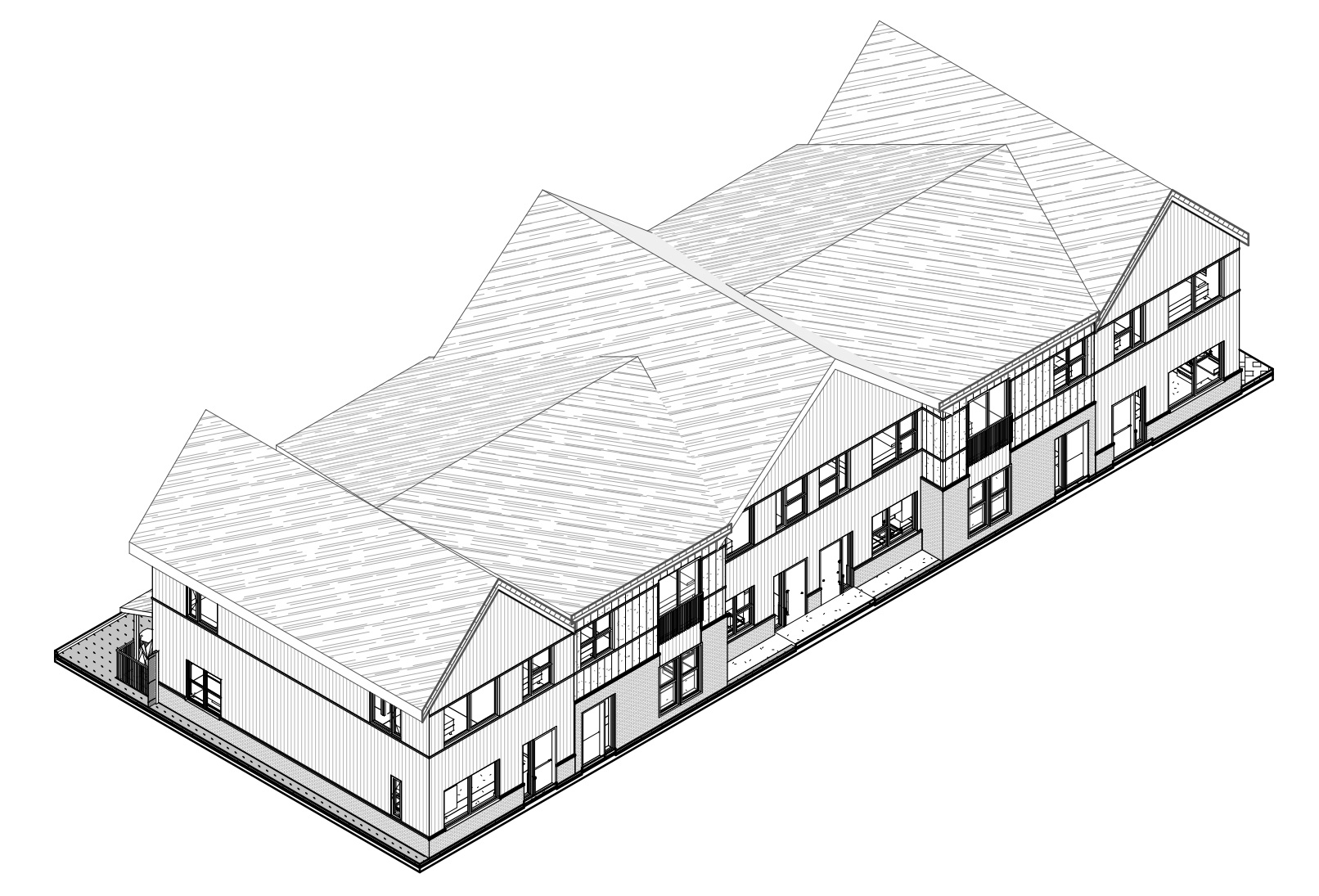




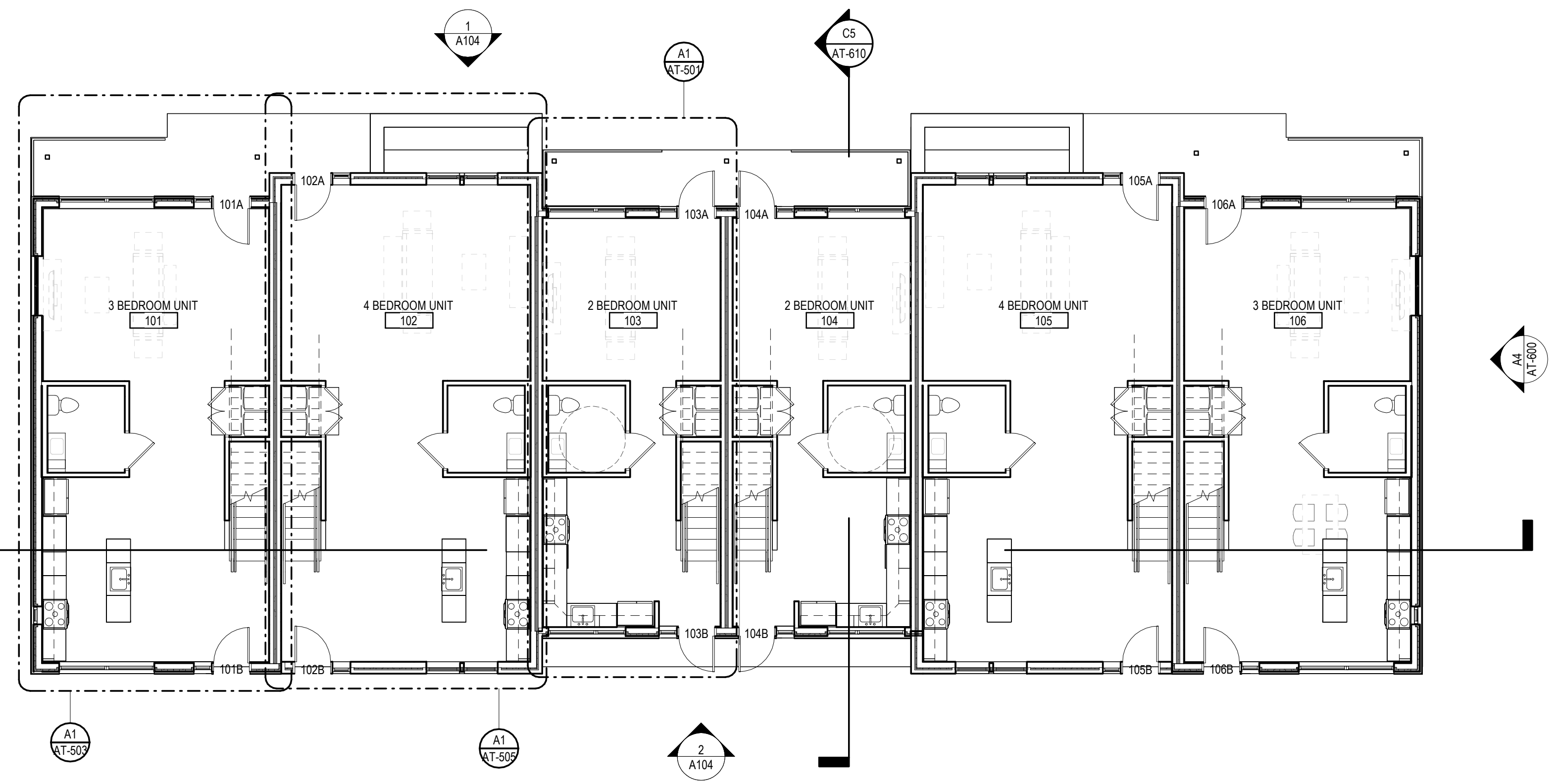
**C1 ROOF PLAN - OVERALL**  
AT-201 1/8" = 1'-0"



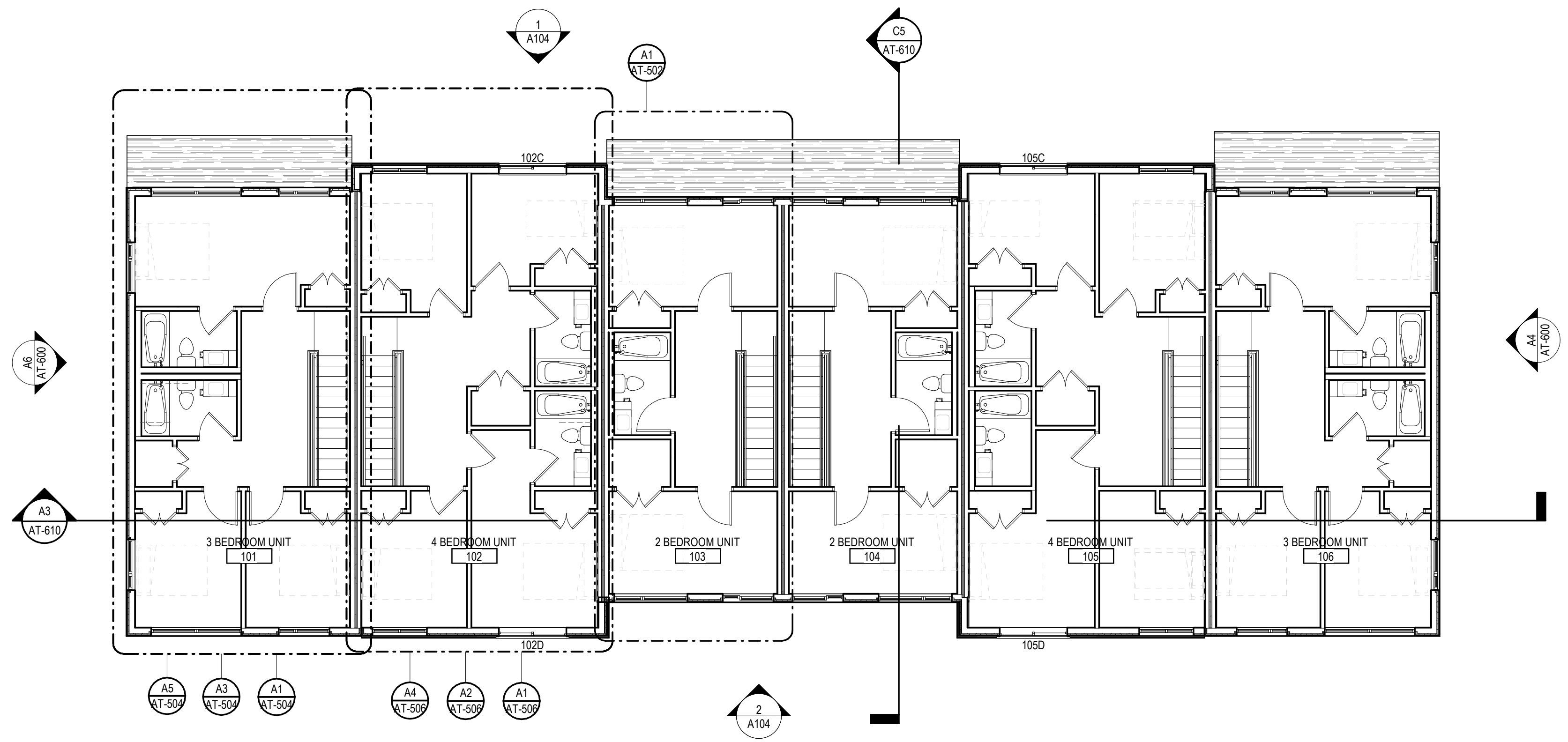
**C4 OVERALL - 3D**  
AT-201



**C6 OVERALL - 3D**  
AT-201



**A1 LEVEL 1 - OVERALL**  
AT-201 1/8" = 1'-0"



**A4 LEVEL 2 - OVERALL**  
AT-201 1/8" = 1'-0"

Notes  
 • ALL EXTERIOR JOINTS ARE TO BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.

ISSUE SUBMITTION	By	App'd	DATE

Permit/Seal

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Client/Project Logo

Client/Project  
 Watterson Lake Apartments, LP

Watterson Lake Development

1422 W 74th St.  
 Cleveland, OH 44102

Author: [blank] Designer: [blank] Checker: [blank]  
 Dwn: [blank] Drgn: [blank] Chkd: [blank]

01/16/24  
 YYYY.MM.DD

Title  
**OVERALL FLOOR PLANS**

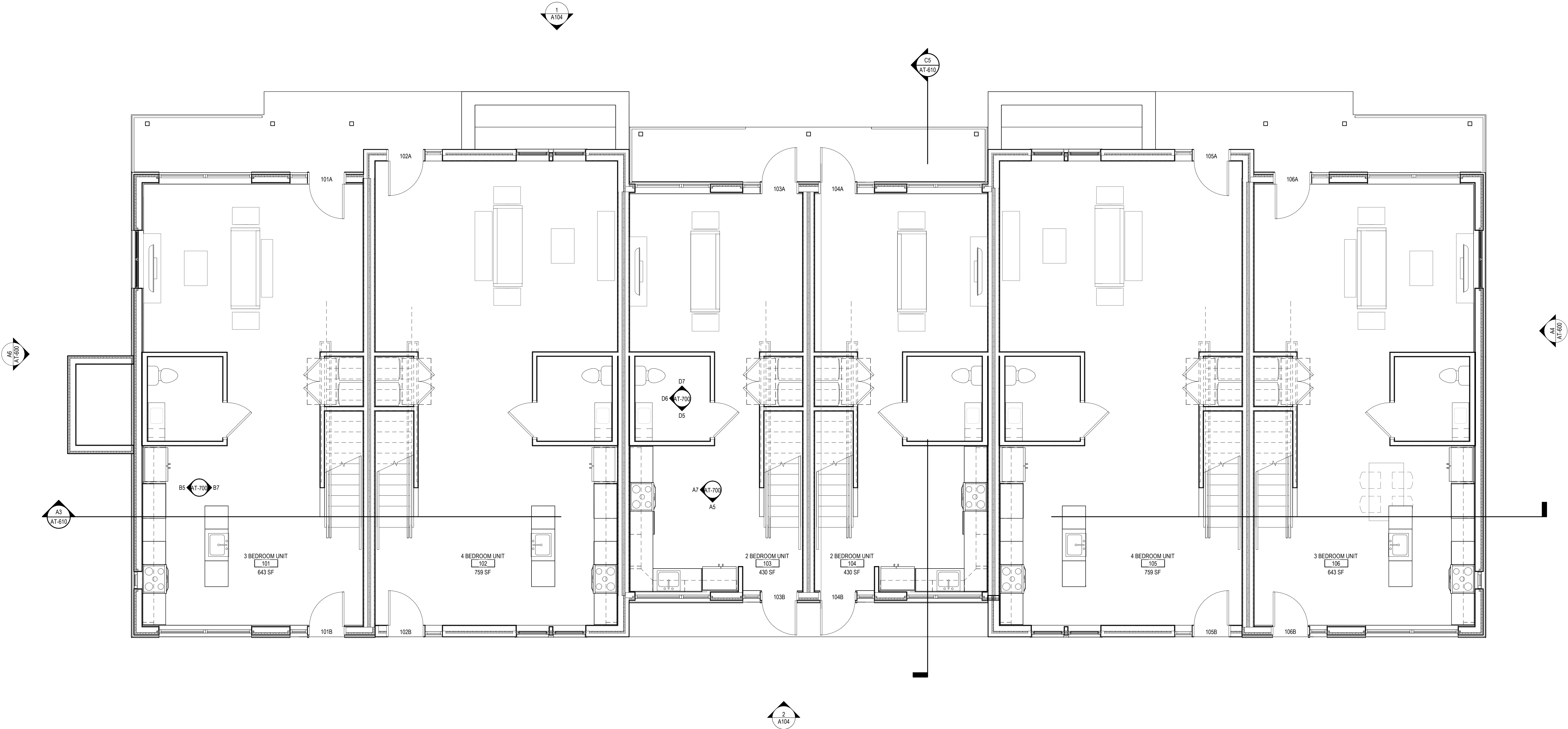
Project No. 218011983  
 Revision [blank]

Scale  
 As indicated

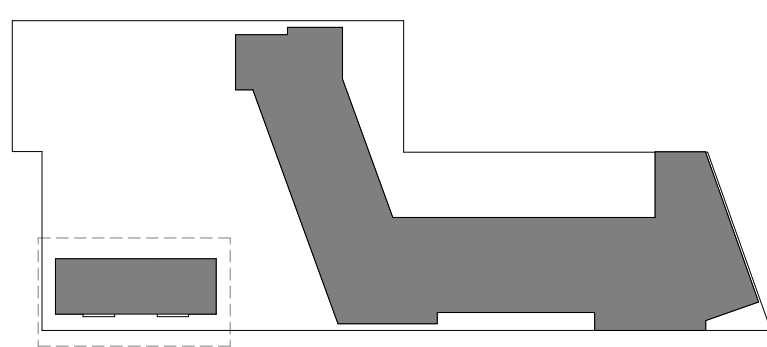
Drawing No. **AT-201**



# FIRST FLOOR PLAN - TOWNHOMES

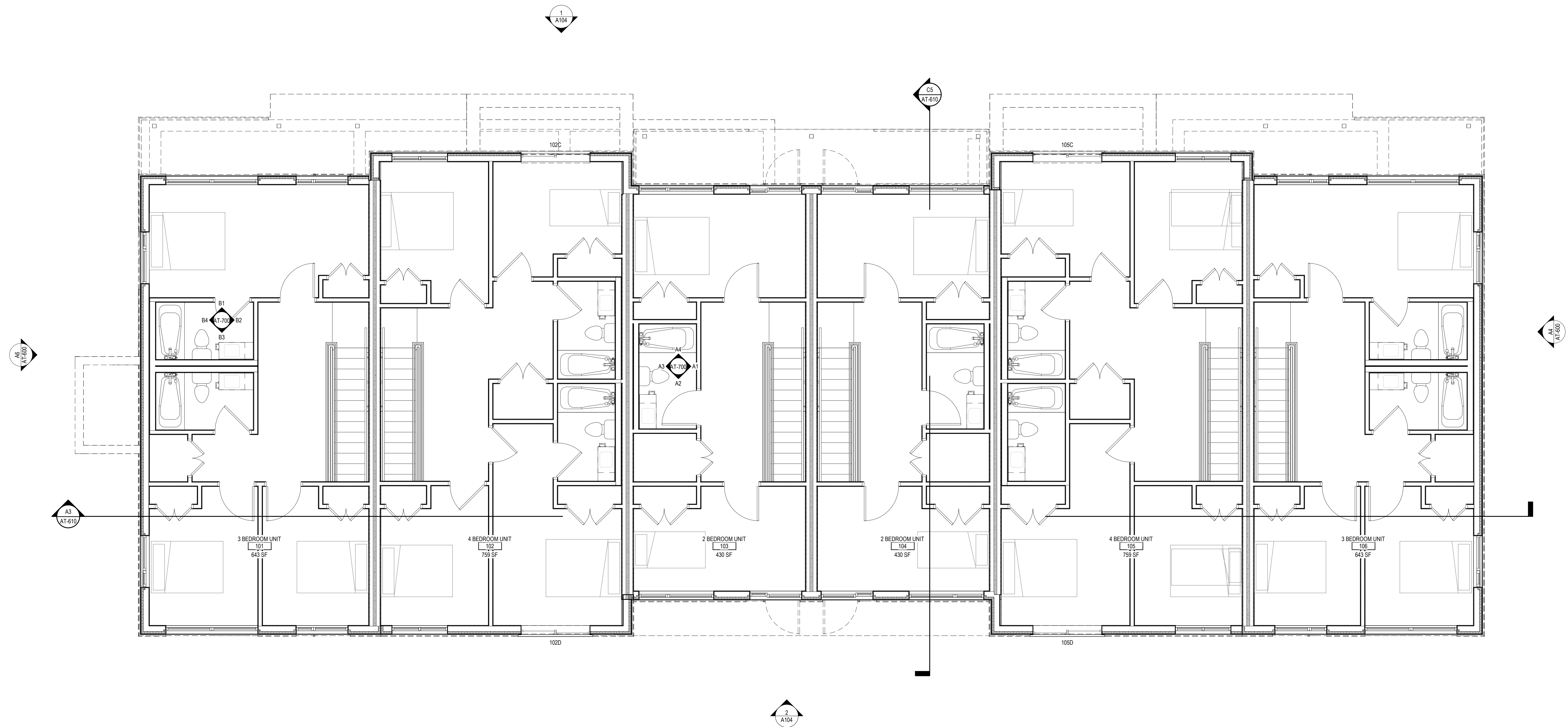


1 LEVEL 1 - FLOOR PLAN  
 A110 1/4" = 1'-0"

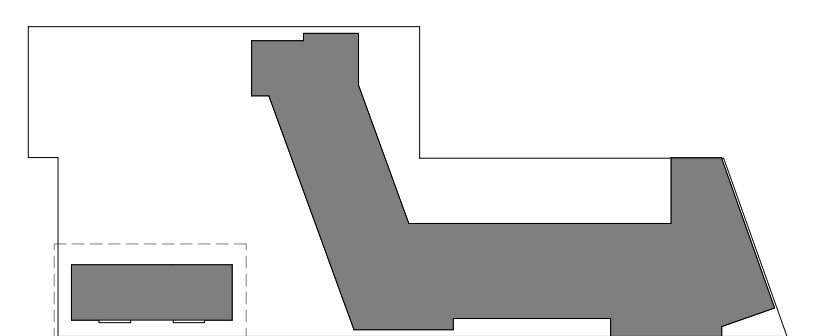




# SECOND FLOOR PLAN - TOWNHOMES



1 LEVEL 2 - FLOOR PLAN  
A111 1/4" = 1'-0"





# MATERIALS



74TH ELEVATION



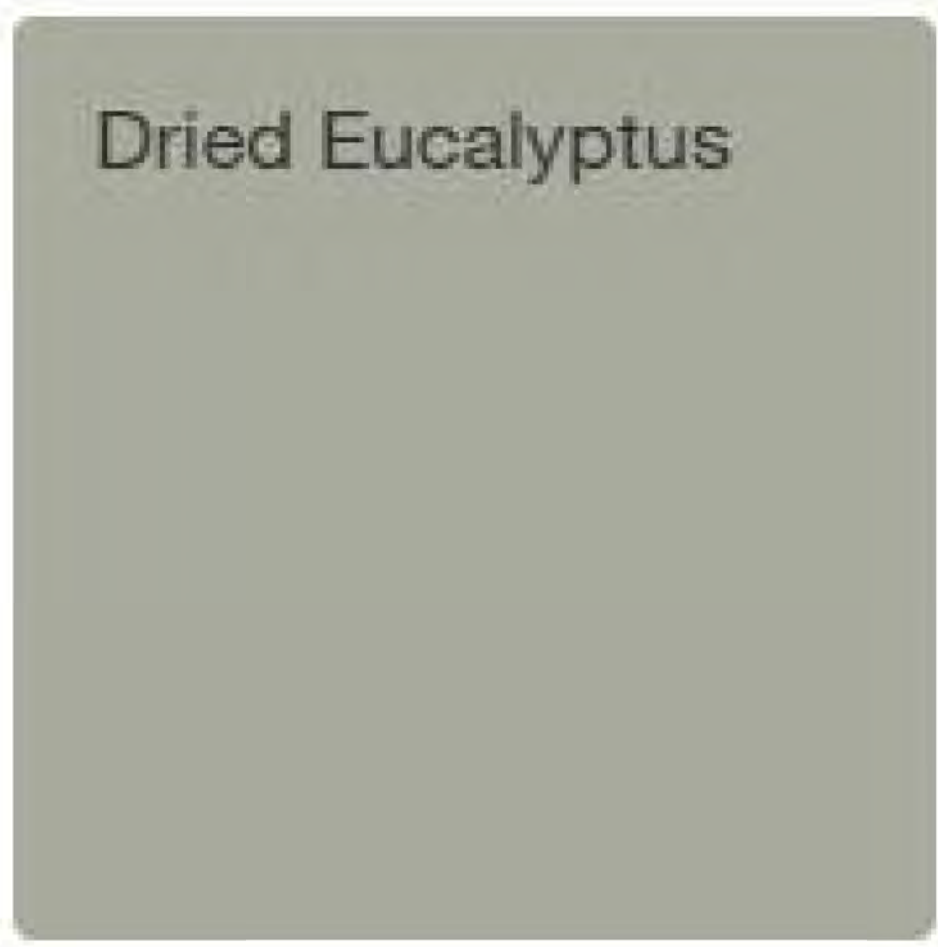
DETROIT ELEVATION



Impervia Fiberglass Doors & Windows  
Black



HDI railing systems: Apex  
Black



Dried Eucalyptus



Board & Batten



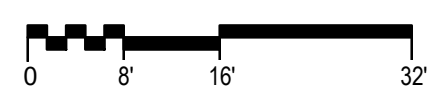
Weathered Cliffs



Board & Batten



Dolomite Grey





# Case 24-086

Certificate of Appropriateness

West Side Market

Concept/Schematic  
Review completed  
October 24<sup>th</sup>, 2024

## West Side Market 1979 West 25<sup>th</sup> Street

### Addition and Renovation

Project Representatives: Amy Haney, DLR Group; Rosemary Mudry, West Side Market

Ward 3: Councilmember McCormack





# WEST SIDE MARKET RENOVATION AND ADDITION CLEVELAND, OHIO - OHIO CITY

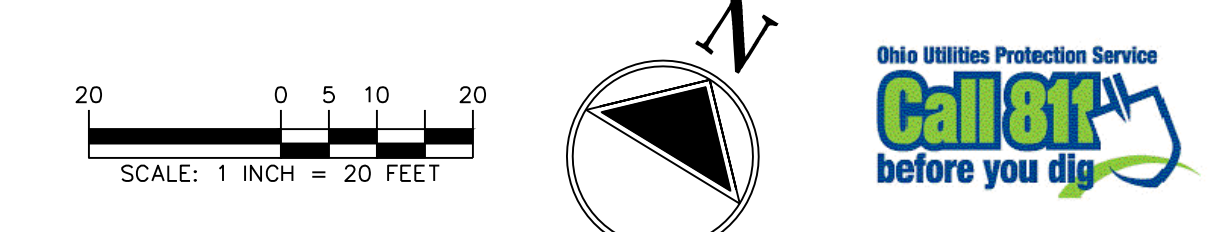
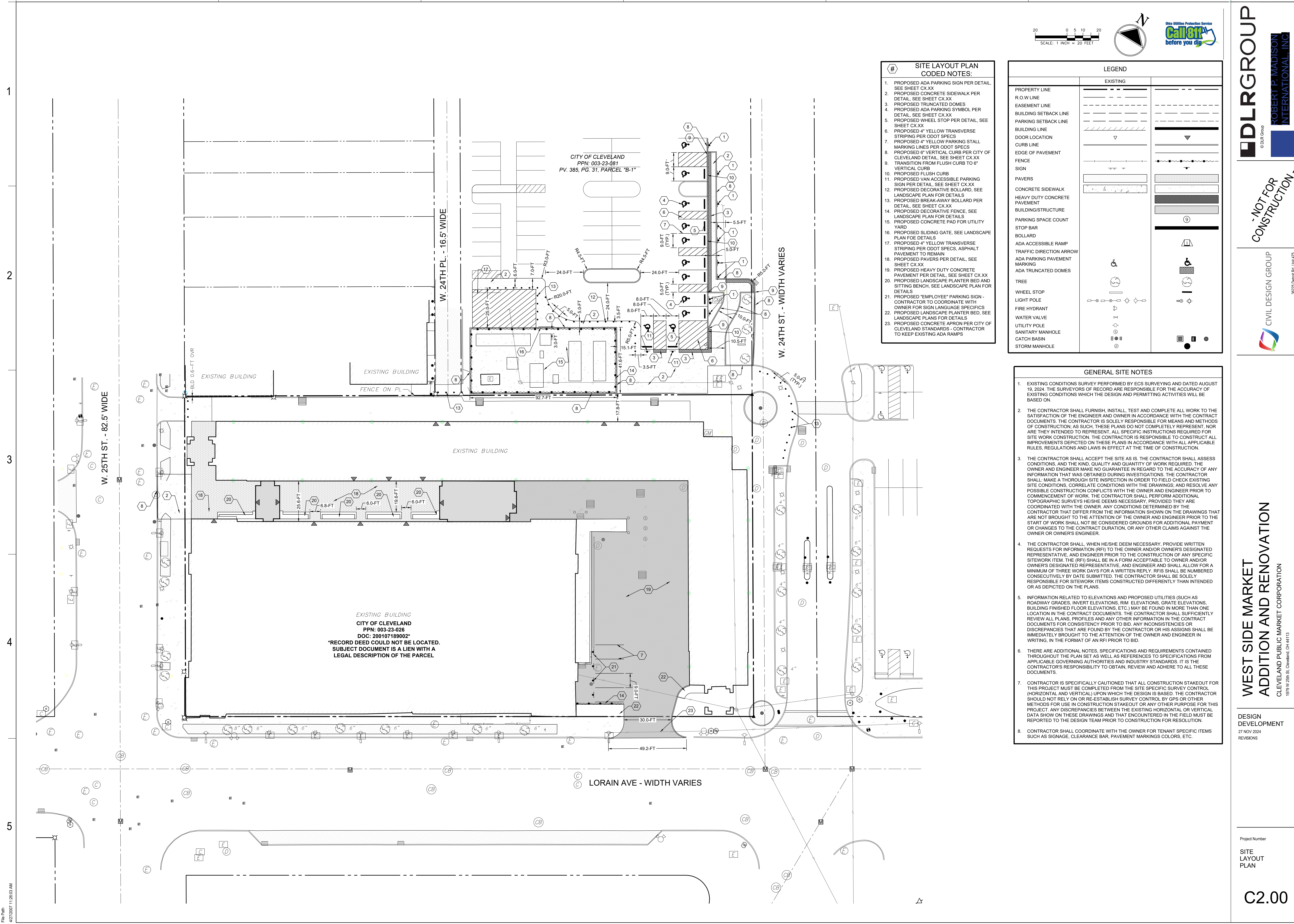
CLEVELAND LANDMARKS COMMISSION  
FINAL DESIGN REVIEW  
FEBRUARY 27, 2025











- 1. PROPOSED ADA PARKING SIGN PER DETAIL, SEE SHEET CX.XX**
- 2. PROPOSED CONCRETE SIDEWALK PER DETAIL, SEE SHEET CX.XX**
- 3. PROPOSED TRUNCATED DOMES**
- 4. PROPOSED ADA PARKING SYMBOL PER DETAIL, SEE SHEET CX.XX**
- 5. PROPOSED WHEEL STOP PER DETAIL, SEE SHEET CX.XX**
- 6. PROPOSED 4" YELLOW TRANSVERSE STRIPING PER ODOT SPECS**
- 7. PROPOSED 4" YELLOW PARKING STALL MARKING LINES PER ODOT SPECS**
- 8. PROPOSED 6" VERTICAL CURB PER CITY OF CLEVELAND DETAIL, SEE SHEET CX.XX**
- 9. TRANSITION FROM FLUSH CURB TO 6" VERTICAL CURB**
- 10. PROPOSED FLUSH CURB**
- 11. PROPOSED VAN ACCESSIBLE PARKING SIGN PER DETAIL, SEE SHEET CX.XX**
- 12. PROPOSED DECORATIVE BOLLARD, SEE LANDSCAPE PLAN FOR DETAILS**
- 13. PROPOSED BREAK-AWAY BOLLARD PER DETAIL, SEE SHEET CX.XX**
- 14. PROPOSED DECORATIVE FENCE, SEE LANDSCAPE PLAN FOR DETAILS**
- 15. PROPOSED CONCRETE PAD FOR UTILITY YARD**
- 16. PROPOSED SLIDING GATE, SEE LANDSCAPE PLAN FOR DETAILS**
- 17. PROPOSED 4" YELLOW TRANSVERSE STRIPING PER ODOT SPECS, ASPHALT PAVEMENT TO REMAIN**
- 18. PROPOSED PAVERS PER DETAIL, SEE SHEET CX.XX**
- 19. PROPOSED HEAVY DUTY CONCRETE PAVEMENT PER DETAIL, SEE SHEET CX.XX**
- 20. PROPOSED LANDSCAPE PLANTER BED AND SITTING BENCH, SEE LANDSCAPE PLAN FOR DETAILS**
- 21. PROPOSED "EMPLOYEE" PARKING SIGN - CONTRACTOR TO COORDINATE WITH OWNER FOR SIGN LANGUAGE SPECIFICS**
- 22. PROPOSED LANDSCAPE PLANTER BED, SEE LANDSCAPE PLAN FOR DETAILS**
- 23. PROPOSED CONCRETE APRON PER CITY OF CLEVELAND STANDARDS - CONTRACTOR TO KEEP EXISTING ADA RAMP**

LEGEND	
EXISTING	
PROPERTY LINE	---
R.O.W LINE	---
EASEMENT LINE	---
BUILDING SETBACK LINE	---
PARKING SETBACK LINE	---
BUILDING LINE	---
DOOR LOCATION	▽
CURB LINE	---
EDGE OF PAVEMENT	---
FENCE	---
SIGN	---
PAVERS	---
CONCRETE SIDEWALK	---
HEAVY DUTY CONCRETE PAVEMENT	---
BUILDING/STRUCTURE	---
PARKING SPACE COUNT	⑨
STOP BAR	---
BOLLARD	---
ADA ACCESSIBLE RAMP	---
TRAFFIC DIRECTION ARROW	---
ADA PARKING PAVEMENT MARKING	---
ADA TRUNCATED DOMES	---
TREE	---
WHEEL STOP	---
LIGHT POLE	---
FIRE HYDRANT	---
WATER VALVE	---
UTILITY POLE	---
SANITARY MANHOLE	---
CATCH BASIN	---
STORM MANHOLE	---

- GENERAL SITE NOTES**
- EXISTING CONDITIONS SURVEY PERFORMED BY ECS SURVEYING AND DATED AUGUST 19, 2024. THE SURVEYORS OF RECORD ARE RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS WHICH THE DESIGN AND PERMITTING ACTIVITIES WILL BE BASED ON.
  - THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
  - THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
  - THE CONTRACTOR SHALL, WHEN HE/SHE DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
  - INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
  - THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
  - CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
  - CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TENANT SPECIFIC ITEMS SUCH AS SIGNAGE, CLEARANCE BAR, PAVEMENT MARKINGS COLORS, ETC.

**DLRGROUP**  
© DLR Group

**ROBERT P. MADISON**  
INTERNATIONAL, INC.  
AIAA 00148011

**CIVIL DESIGN GROUP**  
2505 Park Rd., Unit 405  
Avon, OH 44011

**NOT FOR CONSTRUCTION**

**WEST SIDE MARKET**  
**ADDITION AND RENOVATION**  
CLEVELAND PUBLIC MARKET CORPORATION  
1979 W. 25th St., Cleveland, OH 44113

DESIGN DEVELOPMENT  
27 NOV 2024  
REVISIONS

Project Number  
SITE LAYOUT PLAN  
**C2.00**



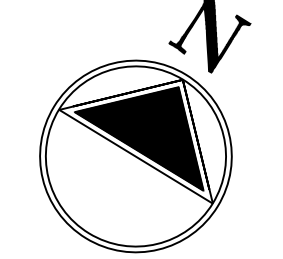
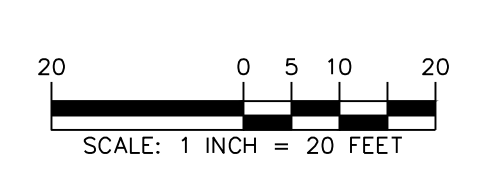
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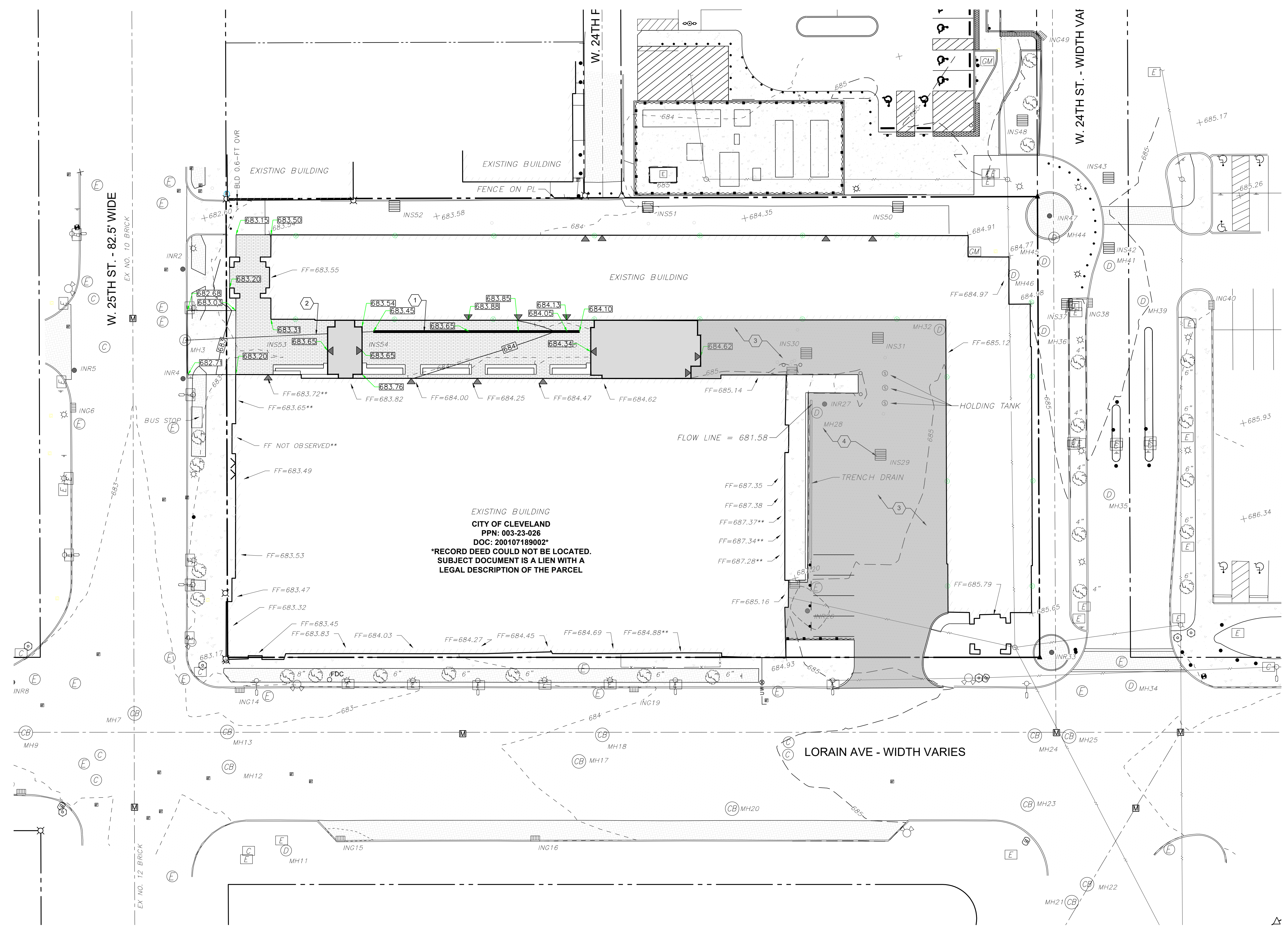
5



- GRADING PLAN CODED NOTES:**
1. PROPOSED ZURN TRENCH DRAIN PER DETAIL. SEE SHEET C3.XX
  2. PROPOSED 83 LF 12" HDPE STORM @ 0.5%
  3. GRADING IN DOCK AREA WILL REMAIN THE SAME. MINOR MODIFICATIONS MAY BE NECESSARY AND WILL BE VETTED OUT DURING FINAL DESIGN.
  4. ALL STORM STRUCTURES IN THE DOCK AREA WILL REMAIN UNLESS THEY ARE DAMAGED.

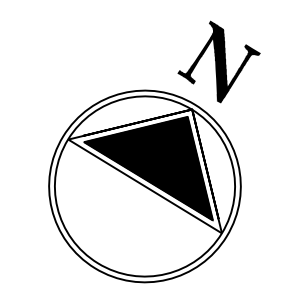
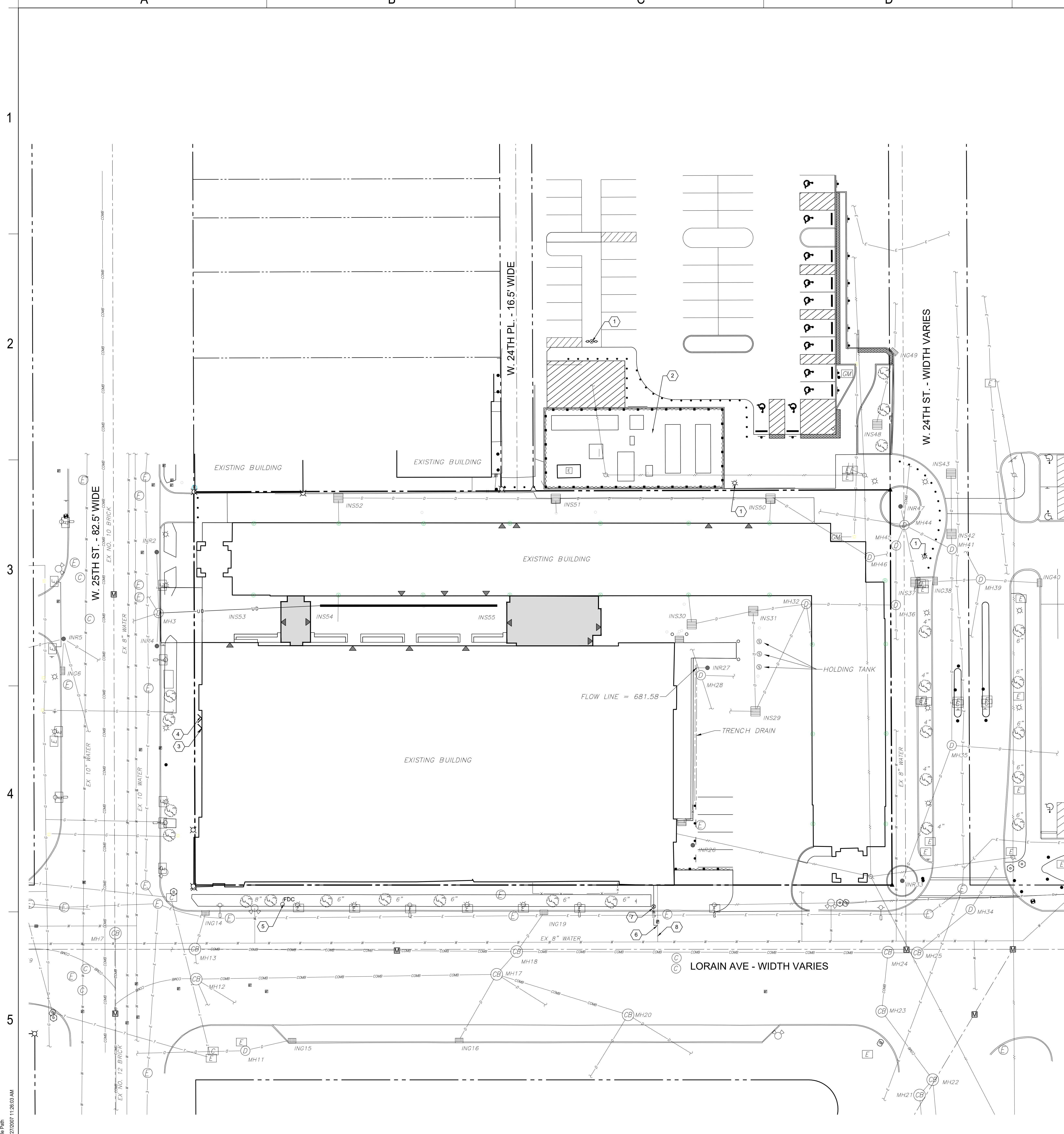
	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE	---	---
STORM PIPE	---	---
STORM MANHOLE	⊙	●
CATCH BASIN / INLET	⊙	●
TRENCH DRAIN	---	---
CONTOUR	--- 6.32 ---	--- 6.32 ---
SPOT ELEVATION		632.64
TOP OF CURB / BOTTOM OF CURB ELEVATION		TC633.21 BC632.21

- GRADING AND DRAINAGE NOTES**
1. EXISTING CONDITIONS SURVEY PERFORMED BY ECS SURVEYING AND DATED AUGUST 19, 2024. THE SURVEYORS OF RECORD ARE RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS WHICH THE DESIGN AND PERMITTING ACTIVITIES WILL BE BASED ON.
  2. ONCE EXISTING UTILITIES TO REMAIN ARE LOCATED, ANY POTENTIAL CONFLICTS WITH OTHER UTILITIES, RELOCATED UTILITY POLES, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
  3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALL THE APPROPRIATE UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAYS AT LEAST 72 HOURS BEFORE ANY EXCAVATION OR GRADING TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CIVIL DESIGN GROUP ENGINEERING. CALL OHIO UTILITIES PROTECTION SERVICES - 1-800-362-2764.
  4. ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
  5. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND ANY LOCAL AUTHORITIES.
  6. ALL DRAINAGE STRUCTURES SHALL BE PRECAST.
  7. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY. ALL PROPOSED ROOF LEADERS SHALL BE TIED TO THE STORM SEWER SYSTEM.
  8. SITE FILL SHALL CONSIST OF MATERIAL FROM APPROVED ONSITE SOURCES OR APPROVED OFFSITE MATERIAL. THE GEOTECHNICAL ENGINEER WILL REVIEW AND APPROVE ALL MATERIALS.
  9. PARKING LOT AREA SUBGRADES SHALL BE FIRM AND NON-YIELDING. SOFT AREAS AND UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIALS AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
  10. THESE PLANS REPRESENT THE OVERALL SITE WORK IMPROVEMENTS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS; AS SUCH, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
  11. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
  12. THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE REQUEST SHALL BE IN A FORM APPROVED BY THE OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
  13. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
  14. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATION FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS; IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL SUCH DOCUMENTS.
  15. ALL ADA PEDESTRIAN AND PARKING FACILITIES CONSTRUCTED ON SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH FEDERAL AND LOCAL ADA STANDARDS. RUNNING SLOPE OF SIDEWALK TO BE 5% MAXIMUM AND CROSS SLOPE TO BE 2% MAXIMUM. MAXIMUM SLOPE IN ANY DIRECTION IN ADA PARKING SPACES TO BE 2%.
  16. SPOT ELEVATIONS IN PARKING AREAS REPRESENT SURFACE PAVEMENT ELEVATIONS.
  17. ANY UTILITY CONFLICTS WITH 18 INCHES OR LESS VERTICAL SEPARATION BETWEEN OUTSIDE OF PIPE AND OUTSIDE OF PIPE SHALL BE CONCRETE ENCASED.
  18. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TO PROPOSED DRAINAGE STRUCTURES.
  19. OVERSIZED CATCH BASINS MAY BE REQUIRED BASED ON PIPE SIZES AND ANGLES. CONTRACTOR SHALL CONFIRM REQUIRED STRUCTURE SIZES WITH PRECAST MANUFACTURER AND PROVIDE SHOP DRAWINGS TO ENGINEER.
  20. ALL STORM DRAINAGE PIPES ARE TO BE AS SPECIFIED ON THE PLANS. HDPE PIPE SHALL BE ADS N-12 WT IB, OR APPROVED EQUAL. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND THE MANUFACTURER'S GUIDELINES.
  21. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY.
  22. CONTRACTOR TO VERIFY EXISTING STORM SEWER AND SANITARY LATERAL ARE IN GOOD CONDITION AND FREE FLOWING.
  23. ALL PROPOSED SURFACES/GRADES ADJUTING A REMAINING EXISTING SURFACE/GRADE SHALL MATCH THE ELEVATION OF THE EXISTING SURFACE/GRADE.
  24. NUMEROUS SEWERS COULD NOT BE VERIFIED. CONTRACTOR SHALL VIDEO ALL SEWERS ON SITE TO DETERMINE CONDITION. CONTRACTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.



EXISTING BUILDING  
CITY OF CLEVELAND  
PPN: 003-23-026  
DOC: 200107189002  
\*RECORD DEED COULD NOT BE LOCATED.  
SUBJECT DOCUMENT IS A LIEN WITH A  
LEGAL DESCRIPTION OF THE PARCEL





- UTILITY PLAN CODED NOTES:**
1. RELOCATED LIGHT POLE - SEE ELECTRICAL PLANS FOR DETAILS
  2. UTILITY YARD - SEE MEP PLANS FOR DETAILS
  3. SIAMSESE CONNECTION - SEE MEP PLANS FOR DETAILS
  4. FIRE PUMP TEST HEADER - SEE MEP PLANS FOR DETAILS
  5. PROPOSED FDC STANDPIPE PER CITY OF CLEVELAND STANDARDS
  6. 6"x4" TAPPING SLEEVE AND VALVE
  7. 4" LINE VALVE PER CITY OF CLEVELAND DIVISION OF WATER STANDARDS
  8. EXISTING 6" WATER MAIN TO REMAIN

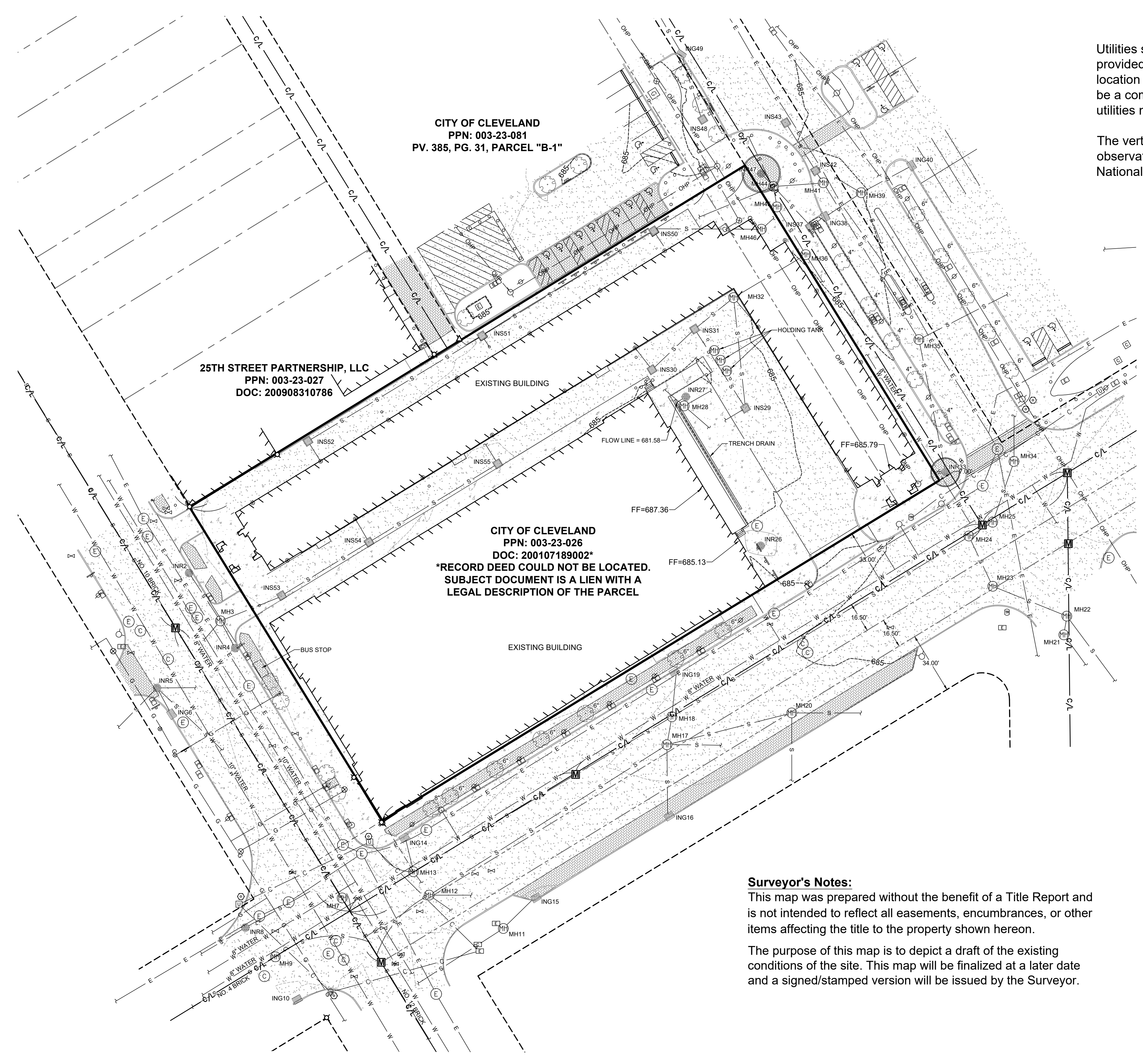
	LEGEND	
	EXISTING	PROPOSED
WATER LINE		
FIRE HYDRANT		
WATER METER		
WATER VALVE		
FDC STANDPIPE		
SIAMSESE CONNECTION		
GAS LINE		
GAS METER		
GAS VALVE		
OVERHEAD WIRES		
UTILITY POLE		
UNDERGROUND COMM. AND ELECTRIC		
UNDERGROUND ELECTRIC		
ELECTRIC METER		
ELECTRIC STRUCTURE		
TRANSFORMER		
LIGHT POLE		
UNDERGROUND TELEPHONE		
SANITARY SEWER LINE		
SANITARY MANHOLE		
SANITARY CLEANOUT		
STORM PIPE		
CATCH BASIN		
TRENCH DRAIN		
STORM MANHOLE		
YARD DRAIN		
STORM CLEANOUT		

- UTILITY GENERAL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE TO BECOME THOROUGHLY FAMILIAR WITH THE ENGINEERING, DRAINAGE, AND UTILITY STANDARDS OF THE LOCAL MUNICIPALITY AND COUNTY THAT THE PROJECT IS LOCATED IN. ALL LOCAL MUNICIPALITY AND COUNTY STANDARDS WILL TAKE PRECEDENCE OVER THE DETAILS, SPECIFICATIONS, AND NOTES PROVIDED ON THESE DRAWINGS, UNLESS SPECIFICALLY ADDRESSED OTHERWISE BY CIVIL DESIGN GROUP DURING THE PROJECT UPON REQUEST FROM THE CONTRACTOR.
  2. THE CONTRACTOR SHALL NOTIFY OHIO UTILITIES PROTECTION SERVICES, AND ANY OTHER UTILITY COMPANIES NOT REPRESENTED BY OHIO UTILITIES PROTECTION SERVICES, 48 HOURS PRIOR TO EXCAVATING INITIATION. NOTIFY OHIO UTILITIES PROTECTION SERVICES AT 1-800-362-2764. CONTRACTOR MUST CONTACT UTILITY COMPANIES FOR EXACT LOCATIONS OF UTILITIES 2 WORKING DAYS BEFORE DIGGING.
  3. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL PROPOSED CONNECTIONS TO EXISTING FACILITIES PRIOR TO COMMENCING WORK. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY CIVIL DESIGN GROUP OF ANY DISCREPANCIES.
  4. TRENCH DEPTH REQUIREMENTS MEASURED FROM FINISHED GRADE SHALL MEET THE FOLLOWING:
    - STORM SEWER: DEPTHS, ELEVATIONS, AND GRADES AS INDICATED ON DRAWINGS.
    - SANITARY SEWER: DEPTHS, ELEVATIONS AND GRADES AS INDICATED ON DRAWINGS.
    - WATER MAINS: 72 INCHES TO TOP OF PIPE BARREL OR 8 INCHES BELOW THE FROST LINE OR ESTABLISHED BY THE LOCAL BUILDING OFFICIAL OR WATER COMPANY, WHICHEVER IS DEEPER.
    - GAS MAINS AND SERVICE: 30 INCHES MINIMUM TO TOP OF PIPE, OR AS REQUIRED BY THE LOCAL UTILITY COMPANY, WHICHEVER IS DEEPER.
    - ELECTRICAL CONDUITS: 24 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY NEC 300-5 / NEC 710-36 CODES, OR THE LOCAL UTILITY COMPANY REQUIREMENTS, WHICHEVER IS DEEPER.
    - TELEPHONE / TV CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE LOCAL UTILITY COMPANY, WHICHEVER IS DEEPER.
  5. UTILITY TESTING INCLUDING (BUT NOT LIMITED TO) WATER PRESSURE TESTING, WATER SYSTEM FLUSHING, BACTERIOLOGICAL TESTING, VIDEO CAMERA TESTING, MANDREL TESTING, OR ANY OTHER TESTING REQUIRED BY LOCAL, COUNTY, OR STATE AGENCIES PRIOR TO FINAL ACCEPTANCE OF THE PROJECT AND CERTIFICATE OF OCCUPANCIES BEING ISSUED SHALL BE COORDINATED AND PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE ENGINEER OF RECORD SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO ALL TESTING. THE CONTRACTOR IS SOLELY RESPONSIBLE TO CONTACT AND COORDINATE THE LOCAL AND COUNTY OFFICIALS THAT ARE REQUIRED TO BE PRESENT AT ALL INSPECTIONS. LOCAL FIRE INSPECTORS SHALL BE INVITED TO INSPECT ALL FIRE SERVICE LINES PRIOR TO BACKFILLING OF TRENCHES.
  6. THE LOCATIONS (VERTICAL AND HORIZONTAL) OF ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES (WHETHER THEY ARE SHOWN OR NOT SHOWN ON THE DRAWINGS) DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT HIS COST.
  7. WHERE CONFLICTS ARISE BETWEEN EXISTING OR PROPOSED WATER LINES AND OTHER UTILITIES, STORMWATER CONVEYANCE SYSTEMS OR STRUCTURES, THE WATER LINES SHALL BE ADJUSTED BENEATH OR AROUND THE CONFLICT AS NECESSARY IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
  8. ALL WATERLINES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ESTABLISHED BY THE LOCAL AUTHORITY AND THE OHIO EPA.
  9. BACKFLOW DEVICE REQUIRED ON ALL SERVICE CONNECTIONS. THE BACKFLOW PREVENTER SHALL BE TESTABLE AND LISTED APPROVED BY THE OHIO EPA AND LOCAL AUTHORITY.
  10. ANY EXISTING HYDRANTS, VALVES, VALVE BOXES, METER PITS, SERVICE LINES, CURB BOXES OR WATERMANS THAT ARE DAMAGED OR MUST BE ADJUSTED AND/OR MOVED, MUST BE REPAIRED, ADJUSTED, MOVED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.
  11. PVC POTABLE WATER MAINS SHALL BE SOLID BLUE IN COLOR. DUCTILE IRON WATER MAINS SHALL BE PAINTED WITH BLUE BANDS. CONTRACTORS SHALL INSTALL ALL NEW OR ALTERED WATER PIPES IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS AND / OR ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES.
  12. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS, LATEST REVISIONS. HYDROSTATIC TESTING FOR PVC MAINS SHALL BE 150 PSI FOR MINIMUM OF 2 HOURS AND MEET AWWA STANDARD C-605. DUCTILE IRON MAINS SHALL BE TESTED AT 150 PSI FOR 2 HOURS AND MEET AWWA STANDARD C-600. ALL NEW MAINS SHALL BE DISINFECTED PER AWWA STANDARD C-651. BACTERIOLOGICAL TESTS FOR 2 CONSECUTIVE DAYS SHALL BE APPROVED PRIOR TO PLACING SYSTEM INTO SERVICE. CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER OF RECORD WITH AWWA C306 AND NSF-61 CERTIFICATIONS.
  13. ALL UTILITIES SHALL HAVE AN "EARLY WARNING" PROTECTION TAPE INSTALLED CONTINUOUSLY ALONG THE ENTIRE LENGTH. THE PROTECTION TAPE SHALL BE INSTALLED DURING THE BACKFILLING 6 TO 12 INCHES BELOW FINISHED GRADE DIRECTLY OVER THE PIPE AND BE CONTINUOUSLY MARKED WITH "CAUTION - (TYPE OF UTILITY) BURIED BELOW". THE TAPE SHALL HAVE AN EMBEDDED METALLIC DETECTABLE STRIP AND FOLLOW ANSI STANDARD Z535.1 SPECIFICATIONS FOR SAFETY COLORS. PROTECTION TAPE SHALL BE TERRA-TAPE OR APPROVED EQUAL.
  14. ALL GRAVITY SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR35, WITH RUBBER GASKET JOINTS IN ACCORDANCE WITH ASTM D3212.
  15. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
  16. PROVIDE CLEANOUTS AT EACH 45° AND 90° BEND. REFER TO DETAIL SHEET FOR TYPICAL CLEANOUT DETAIL.
  17. ALL SEWER LINE CONSTRUCTION MUST BE INSPECTED BY THE LOCAL AUTHORITY OR AUTHORIZED REPRESENTATIVE.
  18. AT THE POINT WHERE THE PROPOSED SANITARY SEWER CONSTRUCTION MEETS A LIVE OR EXISTING SEWER, THE NEW SANITARY SEWER SHALL BE SECURELY PLUGGED UNTIL THE ENTIRE NEW SANITARY SEWER CONSTRUCTION IS COMPLETED AND READY FOR FINAL INSPECTION.
  19. GRAVITY SANITARY SEWER LINES SHALL BE TESTED FOR INFILTRATION BY MEASURING FLOW OVER A V-NOTCH OR TESTED FOR EXFILTRATION BY FILLING THE LINE WITH WATER TO 10 FEET ABOVE THE INVERT OF THE MANHOLE. THE LIMITING RATE OF INFILTRATION SHALL NOT EXCEED 200 GALLONS PER 1-INCH DIAMETER PER MILE PER 24 HOURS. AN ALTERNATE TESTING METHOD SHALL BE AIR PRESSURE TESTING AT 5 PSI FOR A DURATION OF 10 MINUTES YIELDING NO OBSERVED DROP IN PRESSURE.
  20. ANY UTILITY CONFLICTS WITH 18 INCHES OR LESS VERTICAL SEPARATION BETWEEN OUTSIDE OF PIPE AND OUTSIDE OF PIPE SHALL BE CONCRETE ENCASED.
  21. ONCE EXISTING UTILITIES TO REMAIN ARE LOCATED, ANY POTENTIAL CONFLICTS WITH OTHER UTILITIES, RELOCATED UTILITY POLES, ETC, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
  22. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND ANY LOCAL AUTHORITIES.
  23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCHING, BEDDING AND BACKFILLING ACTIVITIES, INSTALLATION OF ALL CONDUIT, PLACEMENT OF PULL WIRES WITHIN THE SITE AND GROUNDING.
  24. ALL CLEANOUTS SHALL BE FLUSH WITH THE FINAL SURFACE GRADE.
  25. COORDINATE STORM, SANITARY, WATER, ELECTRIC, COMMUNICATION AND GAS UTILITIES AND APPURTENANCES WITHIN 5 FEET OF BUILDING WITH ARCHITECTURAL PLANS.
  26. CONTRACTOR TO COORDINATE INSTALLATION OF UTILITIES WITH LOCAL UTILITY COMPANIES.
  27. SEE ARCHITECTURAL PLANS FOR SITE UTILITY REQUIREMENTS.
  28. COORDINATE THE SCOPE AND RESPONSIBILITY OF ALL WORK WITH THE LOCAL UTILITY PRIOR TO BIDDING PROJECT. OBTAIN INSTALLATION REQUIREMENTS.



INVERT TABLE				
LABEL	TYPE	RIM	SIZE	ELEVATION
MH1	MANHOLE	682.33	NO. 8	NORTHWEST 682.85
				SOUTHEAST 682.81
INR2	INLET ROUND	682.35	4"	SOUTHEAST 680.55
MH3	MANHOLE	682.58	8"	NORTHWEST 679.59
				SOUTHWEST 679.55
				SOUTHWEST 679.82
				SOUTHWEST 677.93
INR4	INLET ROUND	682.17	4"	EAST 680.52
				NORTHWEST 679.90
INR5	INLET ROUND	682.46	12"	SOUTHWEST 678.86
				SOUTHWEST 678.41
				SOUTHWEST 677.38
				EAST 677.01
ING6	INLET GUTTER	682.36		TRAP NORTHWEST - WATER ELEV. = 678.41
MH7	MANHOLE	683.38	NO. 10	NORTHWEST 683.03
				SOUTHWEST 683.01
INR8	INLET ROUND	683.02	15"	SOUTHWEST 679.82
				NORTHWEST 679.32
MH9	MANHOLE	683.23	NO. 4	SOUTHWEST 683.91
				NORTHWEST 683.46
ING10	INLET GUTTER	682.63		FILLED WITH WATER - WATER ELEV. = 678.81
MH11	MANHOLE	682.35	12"	NORTHEAST 678.26
				SOUTHWEST 678.12
				EAST 677.89
				SOUTHWEST 677.06
				NORTHEAST 668.80
				SOUTHWEST 664.50
MH13	MANHOLE	683.10	4"	NORTHEAST 679.17
				SOUTHWEST 675.12
				NORTH 674.05
				SOUTHWEST 668.82
				SOUTHWEST 668.62
ING14	INLET GUTTER	682.42	4"	NORTHEAST 680.75
				SOUTHWEST 679.62
				SOUTHWEST 679.32
				SOUTH 676.92
ING15	INLET GUTTER	682.70	4"	SOUTHWEST 679.88
				TRAP SOUTHWEST - WATER ELEV. = 679.38
ING16	INLET GUTTER	683.52		TRAP NORTH - WATER ELEV. = 678.64
				SOUTH 679.28
MH17	MANHOLE	684.28	12"	EAST 677.65
				EAST 677.05
				EAST 672.42
				NORTH 665.38
				SOUTHWEST 665.09
MH18	MANHOLE	684.19	4"	NORTH 685.49
				NORTH 678.89
				NORTHEAST 667.01
				SOUTHWEST 666.49
				SOUTH 666.41
ING19	INLET GUTTER	683.77	4"	NORTHEAST 682.37
				SOUTHWEST 680.65
				SOUTH 680.57
				SOUTH 679.50
MH20	MANHOLE	684.64	12"	EAST 679.48
				EAST 679.47
				WEST 678.16
MH21	MANHOLE	685.30	12"	SOUTHWEST 673.82
				NORTH 673.75
MH22	MANHOLE	685.49	12"	SOUTH 673.64
				SOUTHWEST 669.66
				NORTHWEST 669.05
MH23	MANHOLE	685.41	15"	SOUTHWEST 669.20
				NORTHWEST 669.05
MH24	MANHOLE	685.58	15"	NORTHEAST 669.01
				SOUTHWEST 668.91
				SOUTHWEST 668.78
MH25	MANHOLE	685.79	12"	NORTHEAST 678.70
				SOUTHWEST 686.33
INR26	INLET ROUND	684.78	15"	SOUTHWEST 681.35
INR27	INLET ROUND	684.25	4"	SOUTHWEST 682.53
MH28	MANHOLE	684.19	8"	NORTHEAST 674.47
				NORTHWEST 671.44
				SOUTHWEST 673.21
				SOUTHWEST 682.41
ING29	INLET SQUARE	684.19	12"	NORTH 680.54
				NORTH 680.54
ING30	INLET SQUARE	684.34	6"	NORTHEAST 680.82
				SOUTHWEST 680.49
ING31	INLET SQUARE	684.58	6"	NORTHEAST 680.49
				SOUTHWEST 680.20
MH32	MANHOLE	684.90	12"	SOUTH 680.13
				SOUTHWEST 679.99
				SOUTHWEST 679.64
INR33	INLET ROUND	685.19	12"	NORTHEAST 679.57
MH34	MANHOLE	685.57	12"	NORTH 688.30
				WEST 688.32
				NORTHEAST 681.57
				SOUTHWEST 680.17
				SOUTHWEST 682.13
				SOUTH 681.99
MH35	MANHOLE	685.23	12"	NORTHWEST 681.86
				SOUTHWEST 681.45
				SOUTHWEST 679.24
ING37	INLET SQUARE	684.59	12"	NORTHWEST 680.38
				NORTHWEST 680.38
ING38	INLET GUTTER	684.31		TRAP NORTHWEST - WATER ELEV. = 680.53
MH39	MANHOLE	684.98	12"	TRAP NORTHWEST - WATER ELEV. = 680.80
				SOUTHWEST 682.23
				NORTHWEST 682.13
ING40	INLET GUTTER	685.36		TRAP SOUTHWEST - WATER ELEV. = 682.72
MH41	MANHOLE	684.73	4"	EAST DESTROYED
				SOUTHWEST 681.34
				NORTHWEST 681.00
				UNKN. WEST 679.82
ING42	INLET SQUARE	684.55	12"	NORTHWEST 682.18
ING43	INLET SQUARE	684.70	12"	TRAP SOUTH - WATER ELEV. = 681.06
MH44	MANHOLE	684.90	12"	TRAP SOUTHWEST - WATER ELEV. = 681.41
				NORTHWEST 680.89
				EAST 680.46
				SOUTHWEST 680.04
				SOUTH 678.11
				SOUTH 676.24
				EAST 676.20
				NORTHWEST 673.87
MH45	MANHOLE	684.64	12"	SOUTHWEST 678.50
				TRAP NORTH 678.17
				SOUTHWEST 681.43
				SOUTHWEST 676.93
				SOUTHWEST 676.85
				NORTHEAST 676.33
INR47	INLET ROUND	684.25		TRAP SOUTHWEST - COULD NOT OPEN
ING48	INLET GUTTER	684.47		TRAP NORTH - WATER ELEV. = 679.78
ING49	INLET GUTTER	684.26	12"	SOUTHWEST 680.46
				SOUTHWEST 680.46
ING50	INLET SQUARE	684.51	6"	TRAP NORTHWEST - WATER ELEV. = 680.26
				SOUTH 677.63
				SOUTHWEST 677.30
				TRAP EAST - WATER ELEV. = 676.39
ING51	INLET SQUARE	685.96	6"	SOUTHWEST 678.19
				SOUTHWEST 678.14
				NORTHWEST 678.12
ING52	INLET SQUARE	683.26	6"	SOUTHWEST 679.30
				NORTHWEST 679.01
ING53	INLET SQUARE	682.95	8"	NORTHEAST 679.51
				NORTHWEST 679.51
ING54	INLET SQUARE	683.21	6"	SOUTHWEST 679.46
				NORTHWEST 679.96
				SOUTHWEST 679.88
ING55	INLET SQUARE	683.63	6"	NORTHWEST 679.83
				NORTHWEST 680.29
ING56	INLET SQUARE	686.47	8"	WEST 684.47
MH57	MANHOLE	684.18	12"	SOUTHWEST 681.60
				NORTH 681.15
MH58	MANHOLE	683.28	6"	SOUTH 680.06
				WEST 679.83
				SOUTHWEST 673.27
MH59	MANHOLE	682.70	12"	NORTHWEST 673.05
				UNKN. NORTHEAST 669.25
				UNKN. SOUTHWEST 668.24
				UNKN. SOUTHWEST 668.24
				UNKN. SOUTHWEST 668.24

\*Note - Lists for inlets were not removed - Pipe sizes are listed as 2". If specific pipes need to be tied into, pipe sizes should be confirmed before pre-fabrication.



Utilities shown hereon are from field markings and record plans provided by utility companies and government agencies, and surveyed location of above-ground utility features. We do not purport this map to be a complete representation of all utilities - there may be additional utilities not shown and/or utility locations may vary from what is shown.

The vertical datum for the survey is NAVD 1988 based on GPS observations using the Ohio CORS network and is based on the National Geodetic Survey (NGS) system.

- Survey Legend**
- Capped Iron Pin (CIP) Found as Noted
  - ⊗ Drill Hole (DH) Found as Noted
  - Iron Pin (IP) Found as Noted
  - Iron Pipe (IPP) Found as Noted
  - △ Mag Nail (MAG) Found as Noted
  - ⊕ Monument Box (MB) Found as Noted
  - ⚡ Sign
  - ⚡ 2-Post Sign
  - ▬ Bumper Block
  - Bollard
  - Cleanout
  - ⊠ Communication Box
  - ⊠ Communication Manhole
  - ⊠ Communication Pull Box
  - ⊠ Downspout
  - ⊠ Electric Box
  - ⊠ Electric Manhole
  - ⊠ Electric Pull Box
  - ⊠ Gas Meter
  - ⊠ Gas Service Valve
  - ⊠ Gas Valve
  - ♿ ADA Parking
  - ⊠ Fire Hydrant
  - ⊠ Irrigation Control Valve
  - ⊠ Curb Inlet
  - ⊠ Round Inlet
  - ⊠ Square Inlet
  - ⊠ Light Pole
  - ⊠ Manhole
  - ⊠ Tree
  - ⊠ Traffic Pole
  - ⊠ Traffic Pull Box
  - ⊠ Utility Box
  - ⊠ Utility Pole
  - ⊠ Utility Valve
  - Water Standpipe
  - ⊠ Water Service Valve
  - ⊠ Water Valve
  - ▬ Building
  - ▬ Fence Line
  - ▬ Guardrail
  - ▬ Minor Contour Line
  - ▬ Major Contour Line
  - ▬ Depression Contour Line
  - ▬ Paint Line
  - ▬ Communication Line
  - ▬ Electric Line
  - ▬ Gas Line
  - ▬ Overhead Wire
  - ▬ Combined Sewer Line
  - ▬ Water Line
  - ▬ Asphalt
  - ▬ Concrete
  - ▬ Brick

**Surveyor's Notes:**  
 This map was prepared without the benefit of a Title Report and is not intended to reflect all easements, encumbrances, or other items affecting the title to the property shown hereon.  
 The purpose of this map is to depict a draft of the existing conditions of the site. This map will be finalized at a later date and a signed/stamped version will be issued by the Surveyor.

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 INFO@ECSSURVEYING.COM

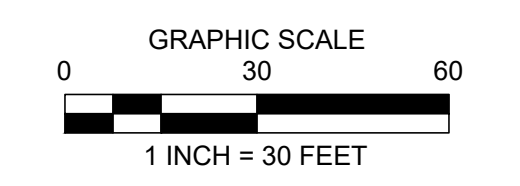
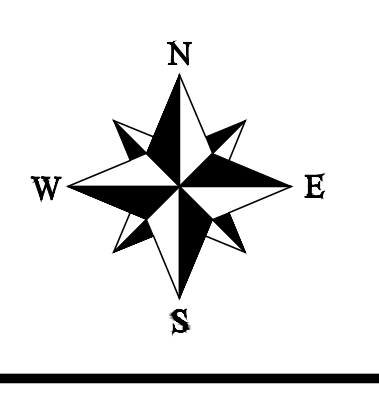
**Standard Abbreviations**

AFN - Automatic File Number	M - Measured
C - Calculated	OVR - Over the PL
CL - Centerline	PL - Property Line
CLR - Clear of the PL	P - Plat
CSR - City Survey Records	PPN - Permanent Parcel Number
D - Deed Record	R - Record Distance
DOC - Document Number	R/W - Right-of-Way
F - Found	S/L - Sublot
INST - Instrument Number	U - Used

**Existing Conditions Survey**  
 West Side Market  
 Cleveland, Ohio

**Revision Table**

Number	Date	Description
DRAFT	9/6/2024	Original Issue
24-143	CS	CS/ES



**Sheet 1 of 1**









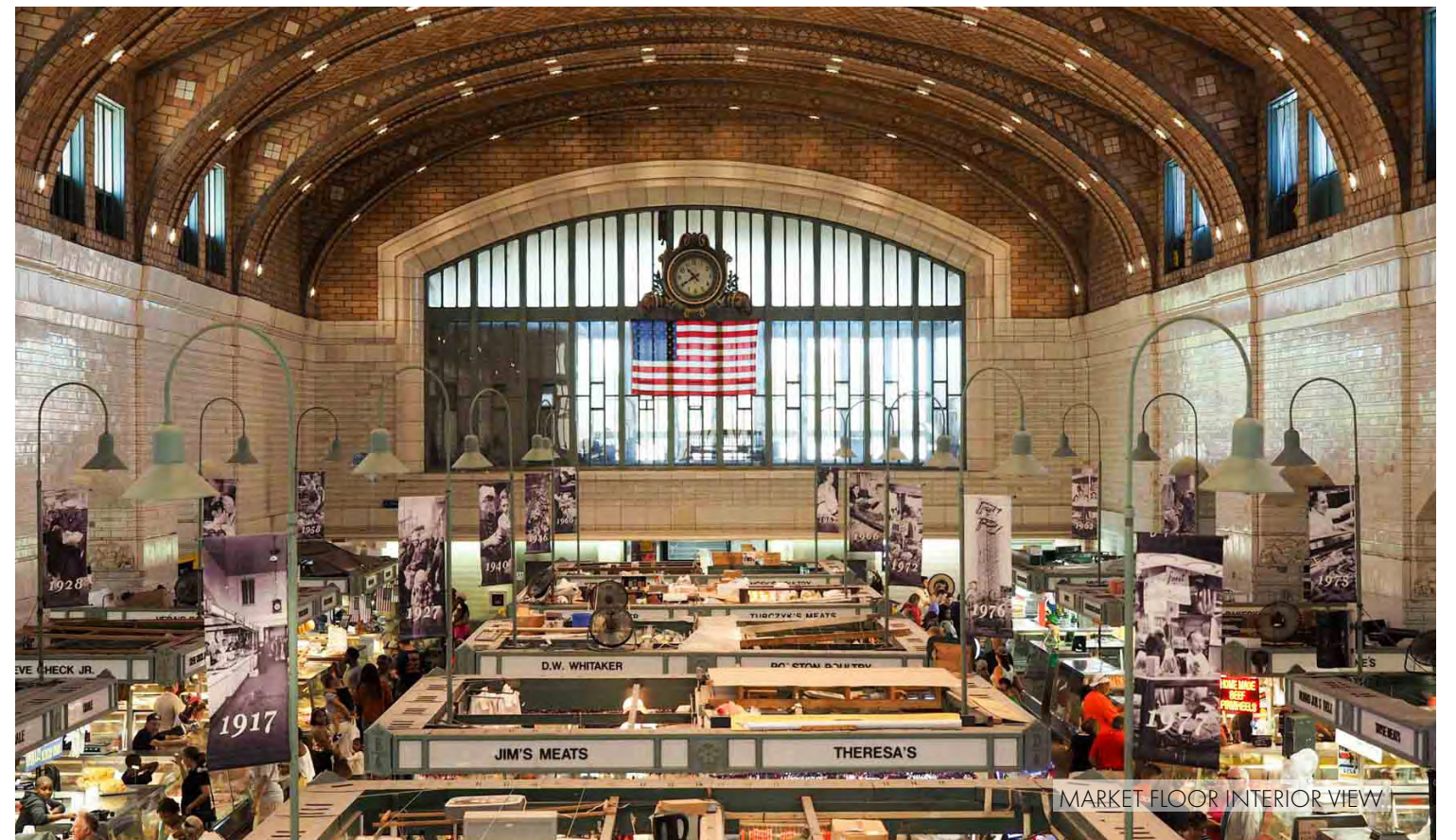
VIEW FROM LORAIN + WEST 25TH



MARKET HALL VIEW FROM WEST 25TH



VIEW FROM LORAIN AVE



MARKET FLOOR INTERIOR VIEW





ARCADE VIEW FROM ALLEY



ARCADE VIEW FROM WEST 25TH



EAST ARCADE VIEW FROM PARKING LOT



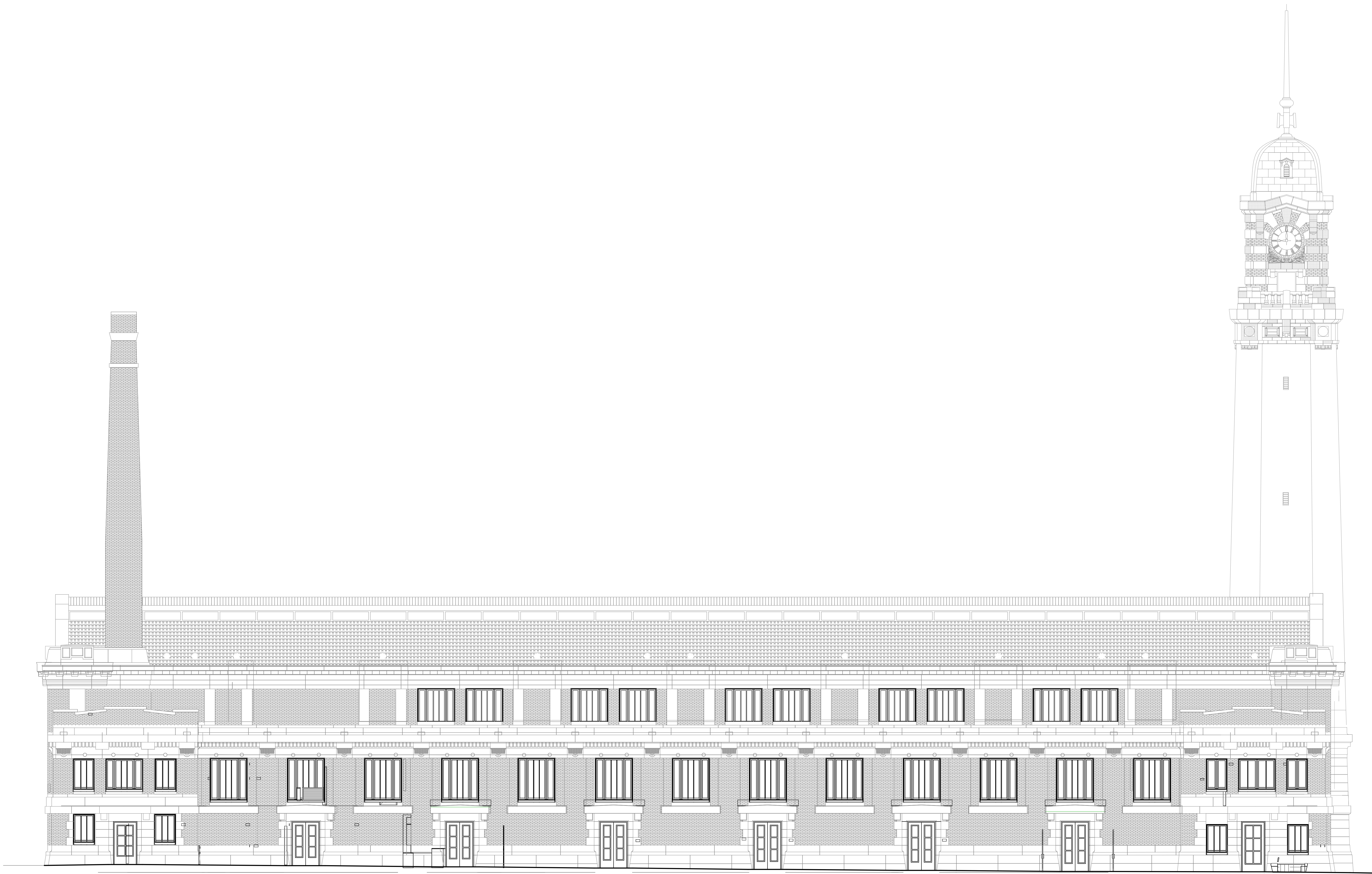
NORTH ARCADE VIEW FROM PARKING LOT





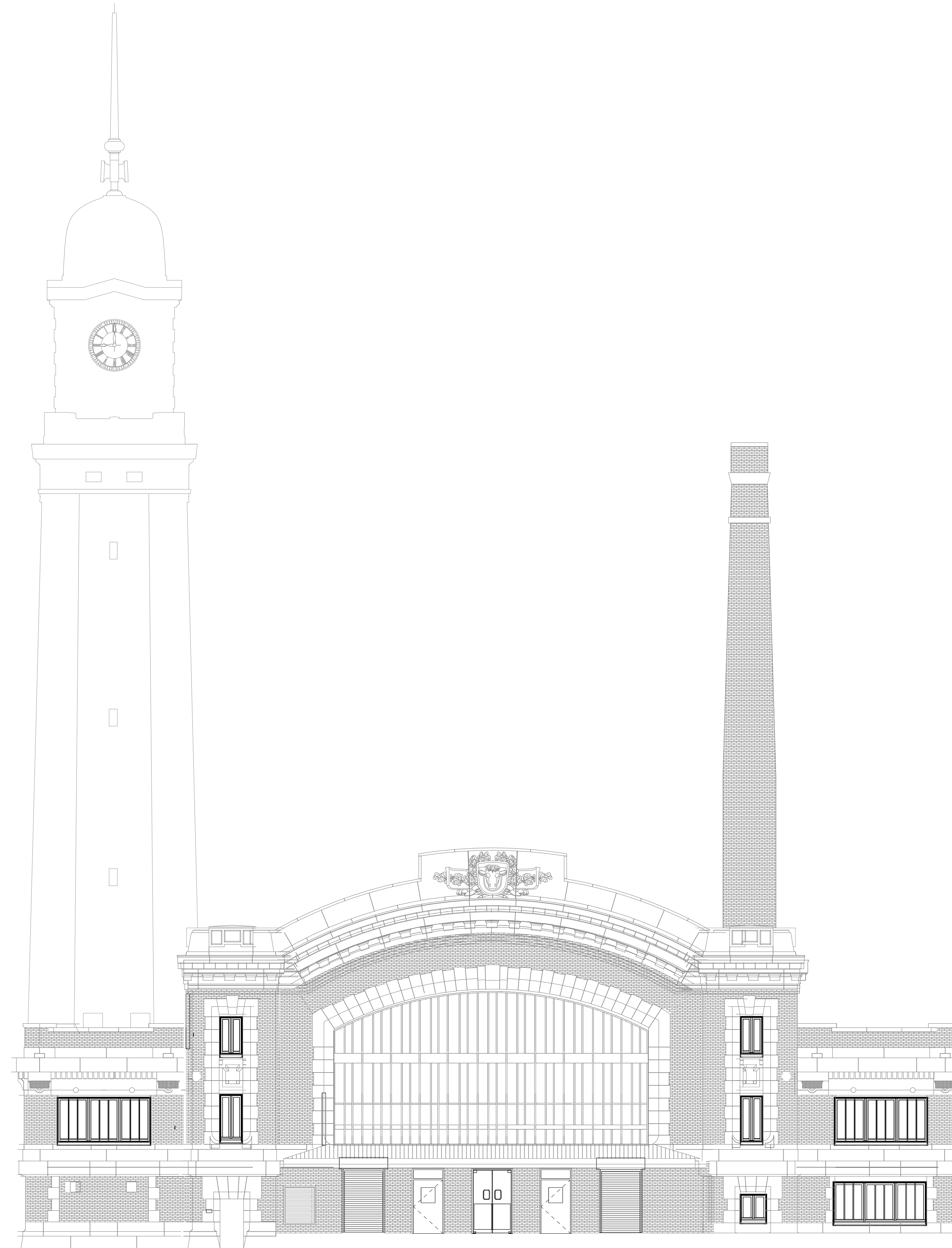
1 ELEVATION WEST - MARKET  
DR.E01 SCALE: 1/8" = 1'-0"





2 ELEVATION NORTH - MARKET  
DR.E02/ SCALE: 1/8" = 1'-0"





2 ELEVATION EAST - MARKET  
DR.E03 SCALE: 1/8" = 1'-0"





1 ELEVATION SOUTH - MARKET  
DREIX / SCALE: 1/8" = 1'-0"





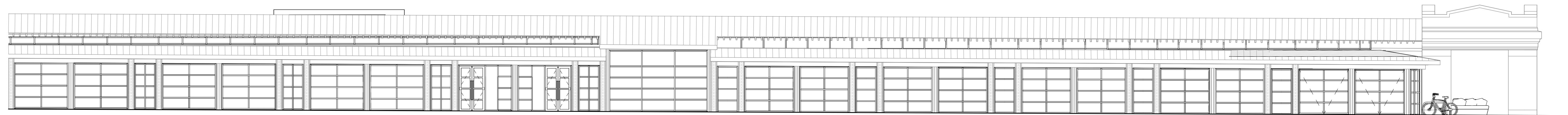
10 NORTH ARCADE - SOUTH ELEVATION 02  
DR.E05 / SCALE: 1/8" = 1'-0"



11 NORTH ARCADE - SOUTH ELEVATION 01  
DR.E05 / SCALE: 1/8" = 1'-0"



2 NORTH ARCADE - NORTH ELEVATION 02  
DR.E05 / SCALE: 1/8" = 1'-0"



1 NORTH ARCADE - NORTH ELEVATION 01  
DR.E05 / SCALE: 1/8" = 1'-0"



4 NORTH ARCADE - WEST ELEVATION  
DR.E05 / SCALE: 1/8" = 1'-0"



5 EAST ARCADE - WEST ELEVATION  
DR.E05 / SCALE: 1/8" = 1'-0"

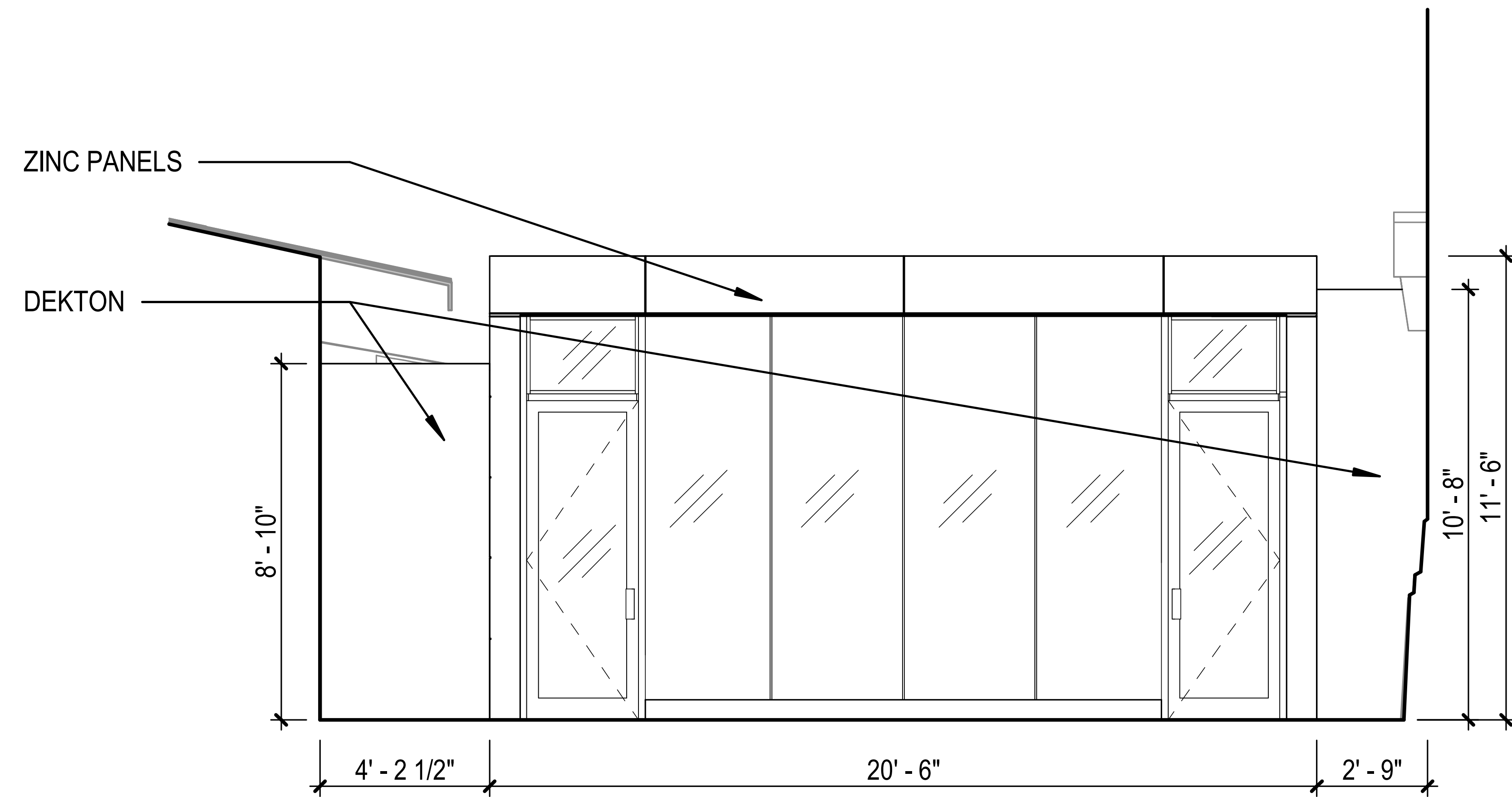


7 EAST ARCADE SOUTH ELEVATION  
DR.E05 / SCALE: 1/8" = 1'-0"

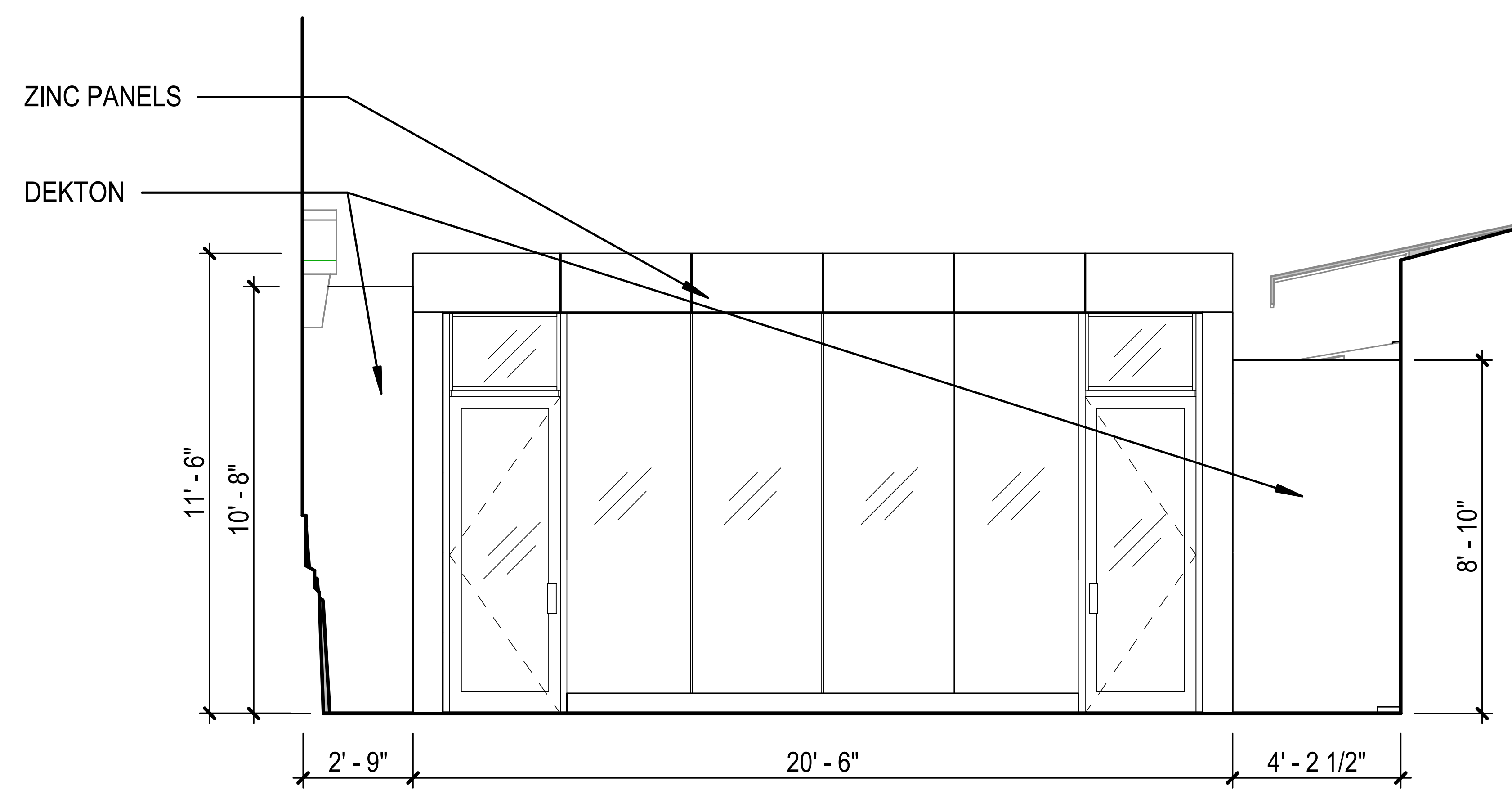


3 EAST ARCADE - EAST ELEVATION  
DR.E05 / SCALE: 1/8" = 1'-0"

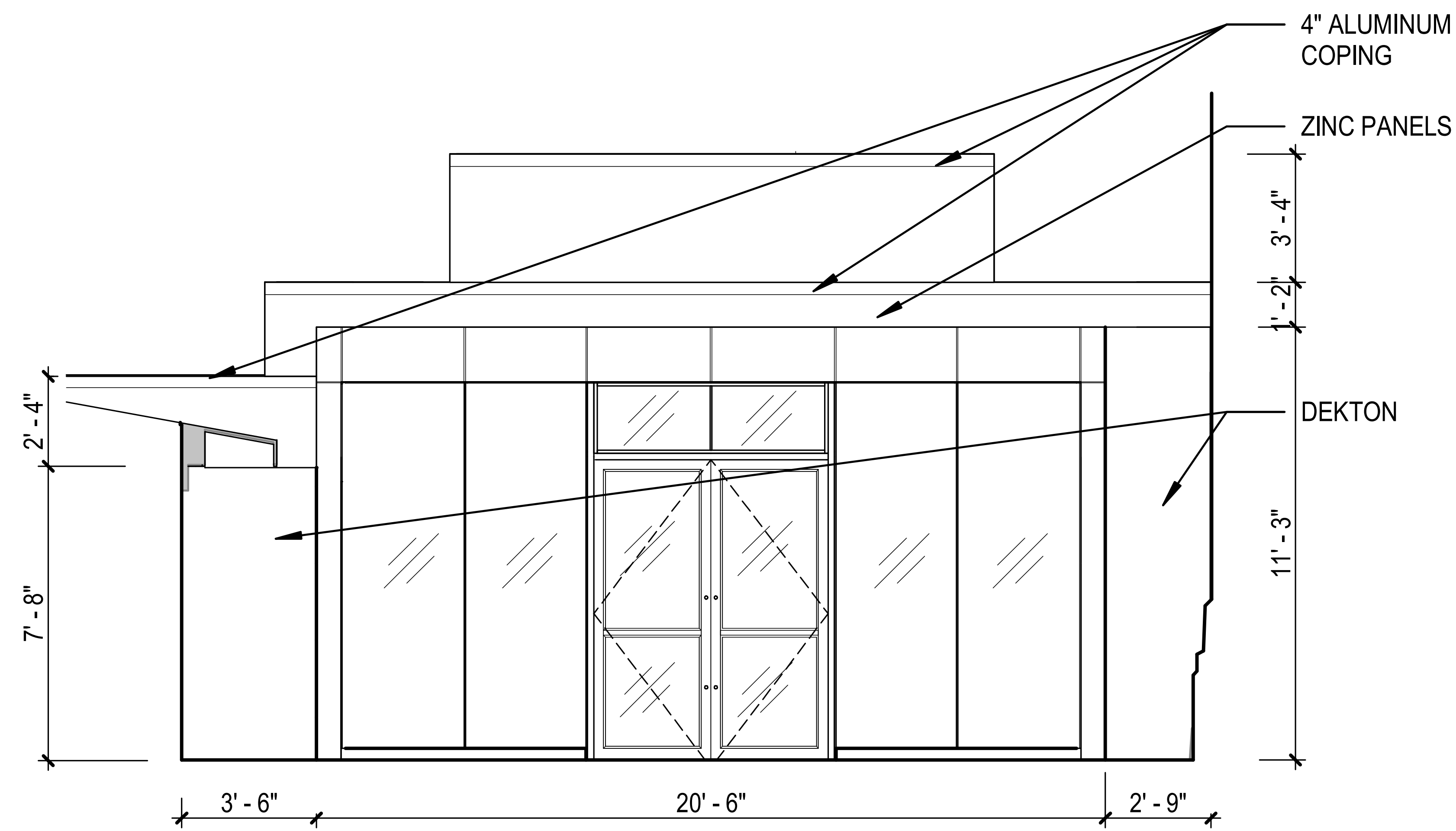




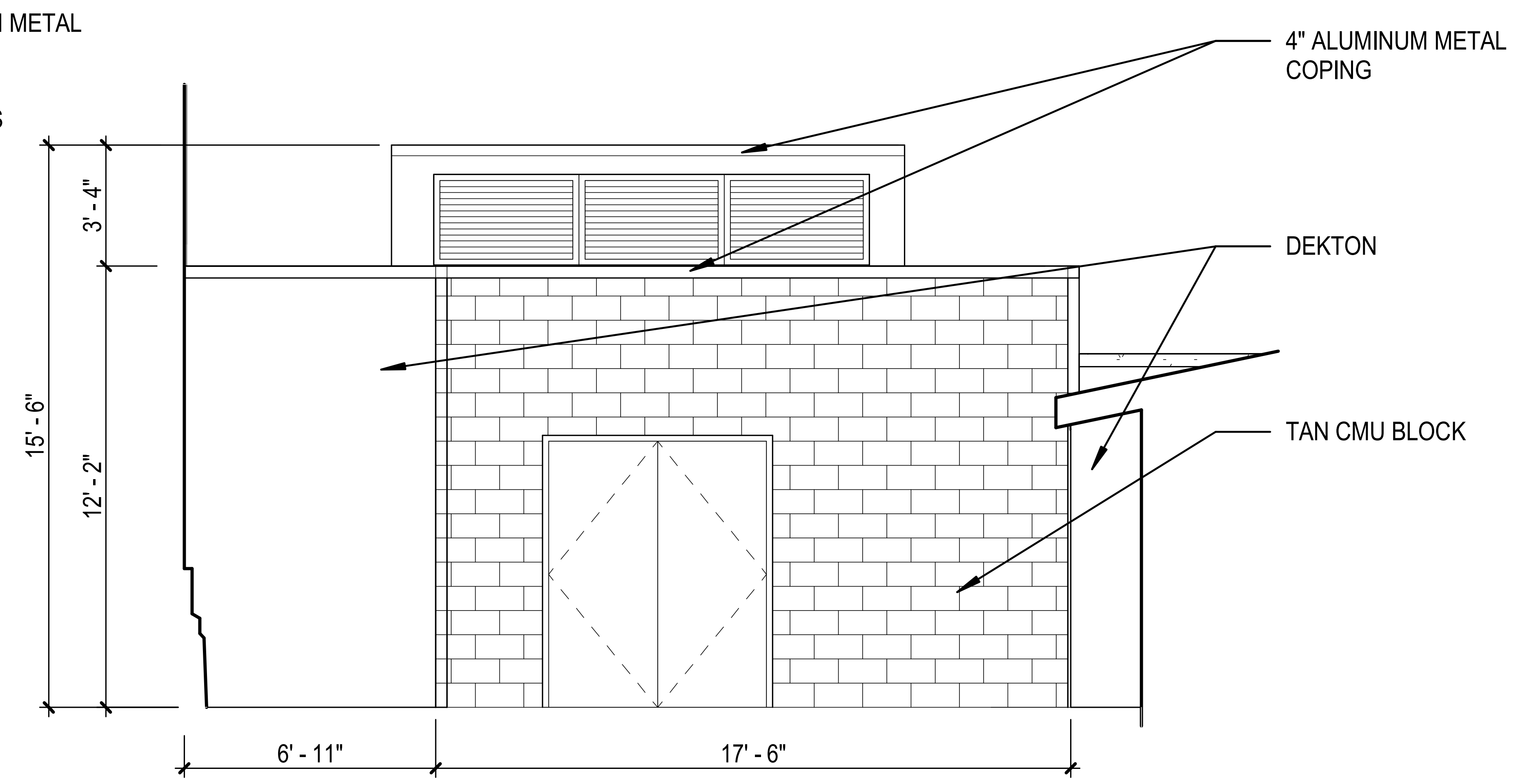
2 CONNECTOR 1 ELEVATION - WEST  
 DR.E06 SCALE: 3/16" = 1'-0"



1 CONNECTOR 1 ELEVATION - EAST  
 DR.E06 SCALE: 3/16" = 1'-0"

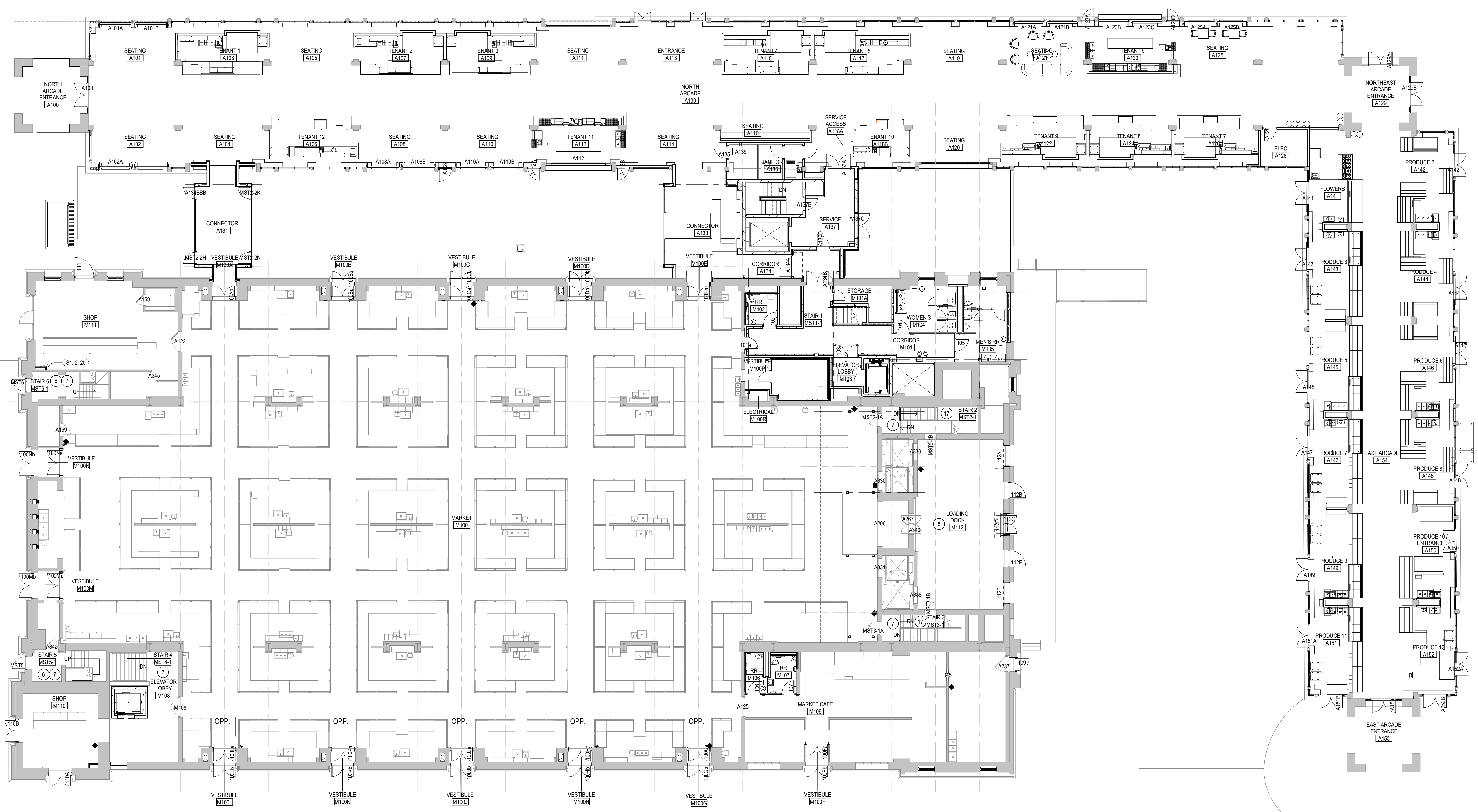


3 CONNECTOR 2 ELEVATION - WEST  
 DR.E06 SCALE: 3/16" = 1'-0"



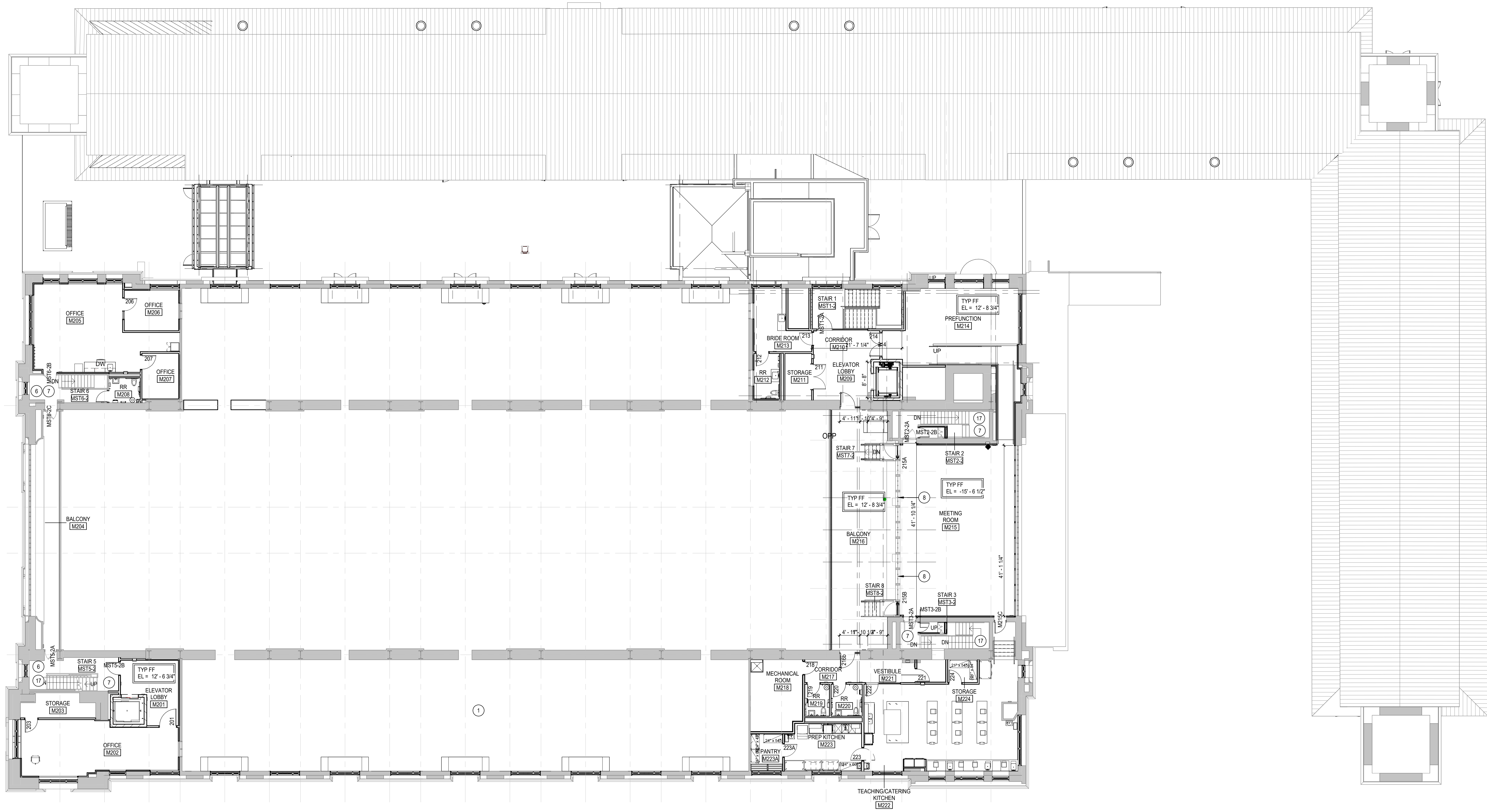
4 CONNECTOR 2 ELEVATION - EAST  
 DR.E06 SCALE: 3/16" = 1'-0"






**OVERALL FLOOR PLAN, LEVEL 1**  
 SCALE: 3/32" = 1'-0"

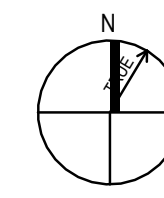





**LEVEL 02 FLOOR PLANS OVERALL**  
 SCALE: 3/32" = 1'-0"





 **ROOF PLAN**  
SCALE: 3/16" = 1'-0"













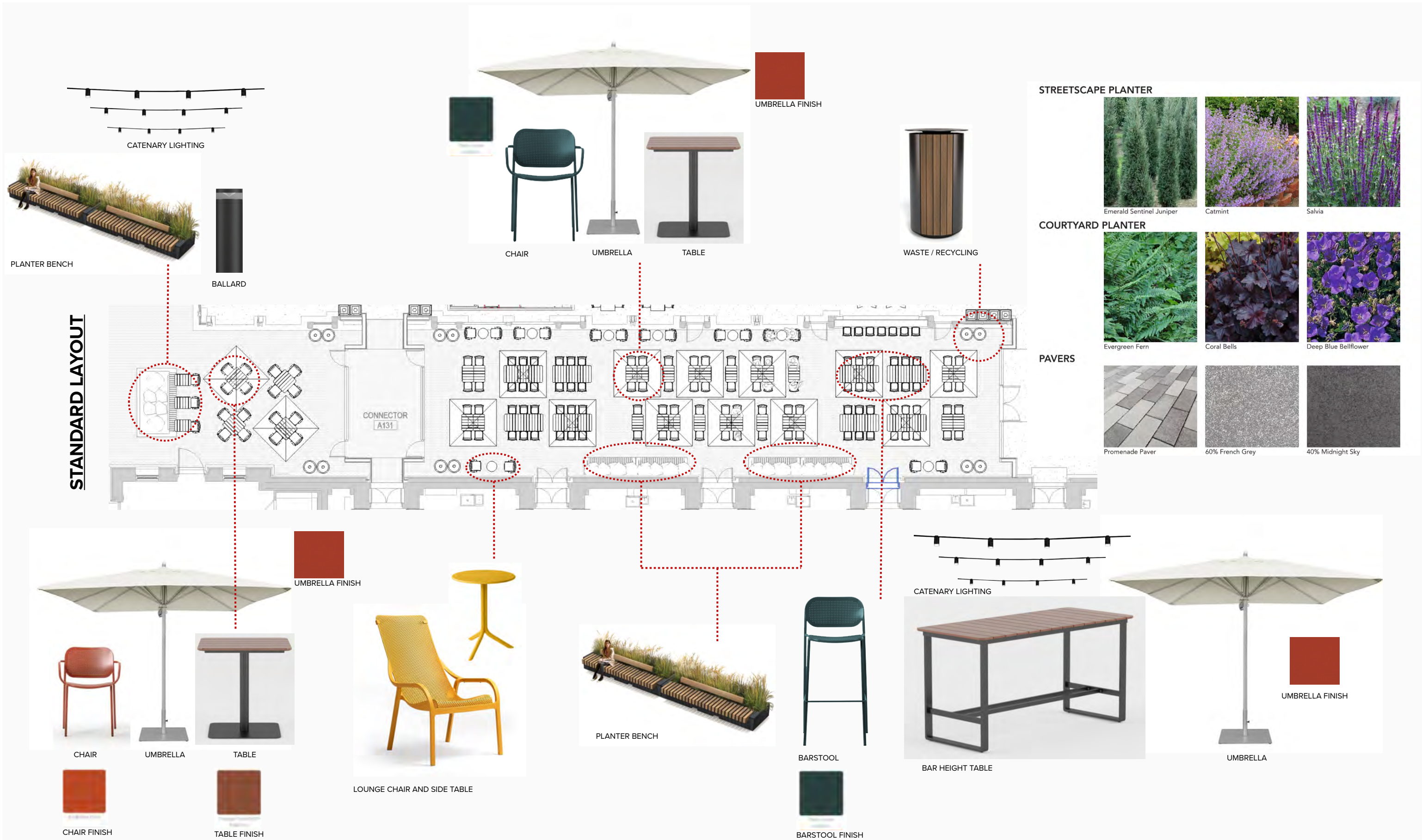










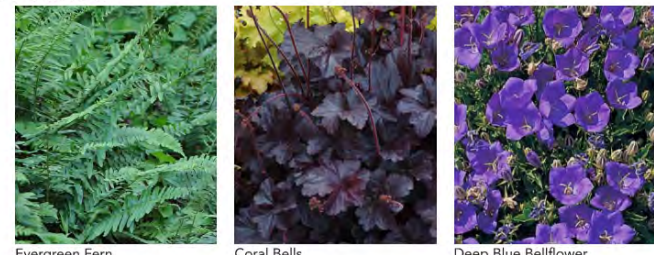


**STANDARD LAYOUT**

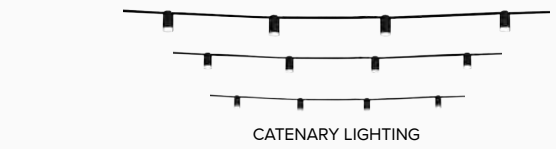
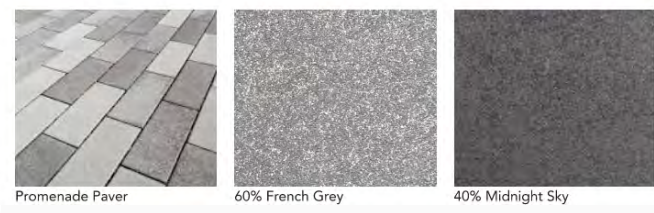
**STREETSCAPE PLANTER**



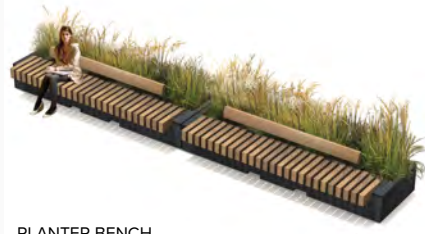
**COURTYARD PLANTER**



**PAVERS**



CATENARY LIGHTING



PLANTER BENCH



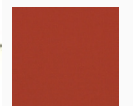
BALLARD



CHAIR

UMBRELLA

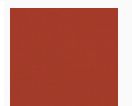
TABLE



UMBRELLA FINISH



WASTE / RECYCLING



UMBRELLA FINISH



CHAIR

UMBRELLA

TABLE



CHAIR FINISH



TABLE FINISH



LOUNGE CHAIR AND SIDE TABLE



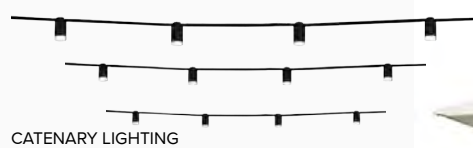
PLANTER BENCH



BARSTOOL



BARSTOOL FINISH



CATENARY LIGHTING



BAR HEIGHT TABLE



UMBRELLA



UMBRELLA FINISH



### STREETSCAPE PLANTER



Emerald Sentinel Juniper

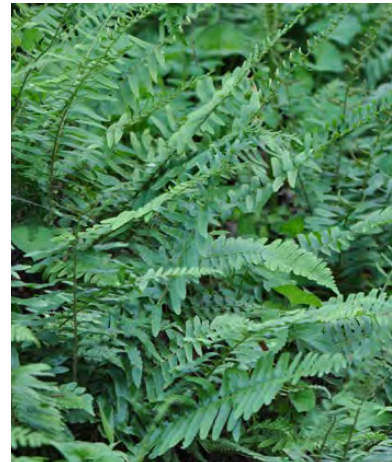


Catmint



Salvia

### COURTYARD PLANTER



Evergreen Fern



Coral Bells



Deep Blue Bellflower

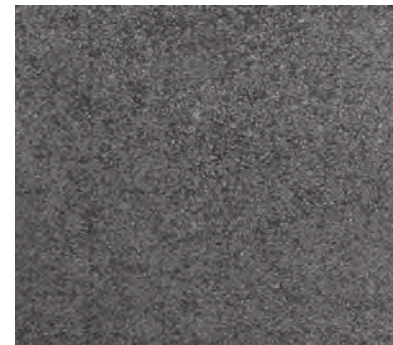
### PAVERS



Promenade Paver

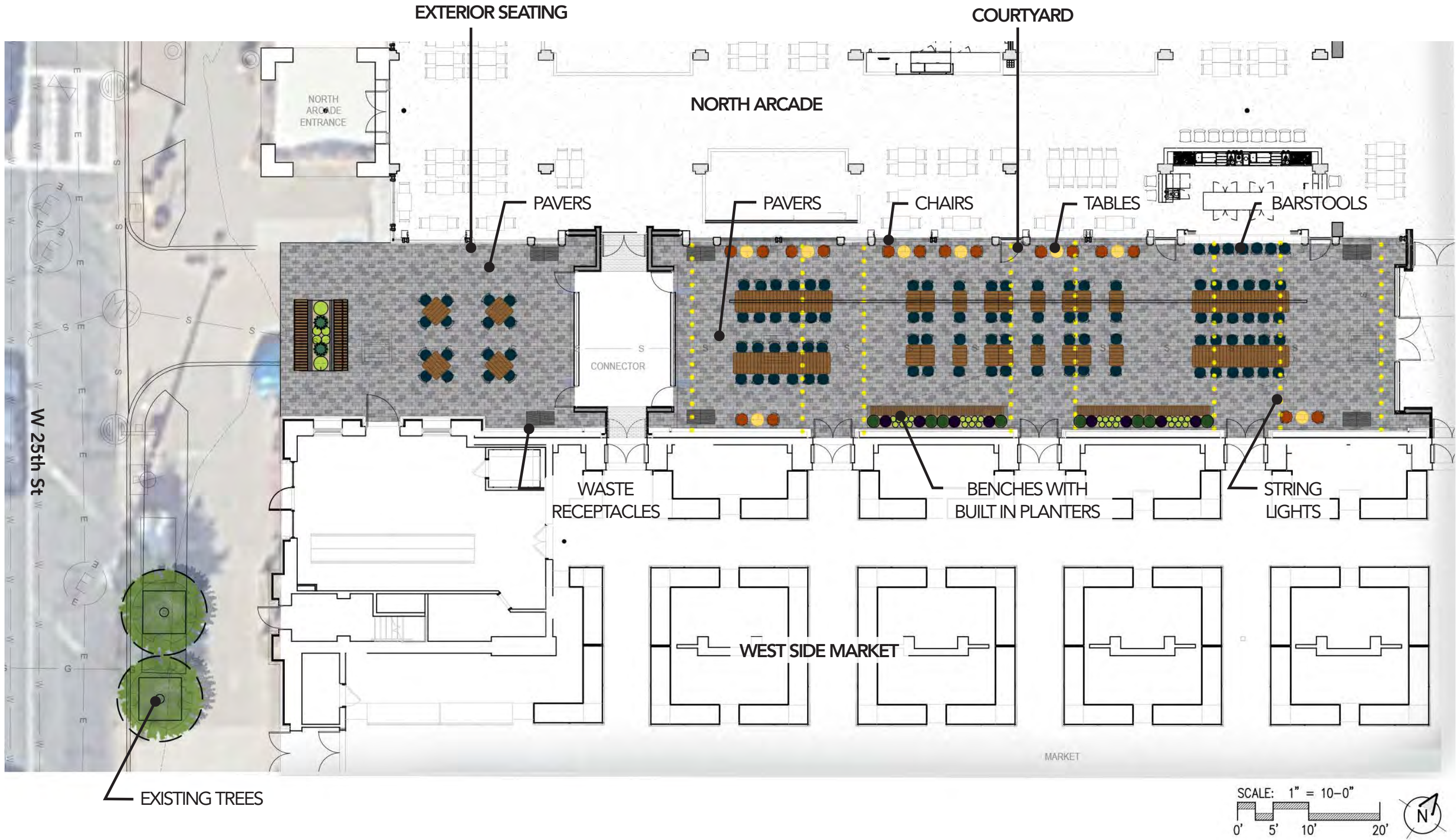


60% French Grey

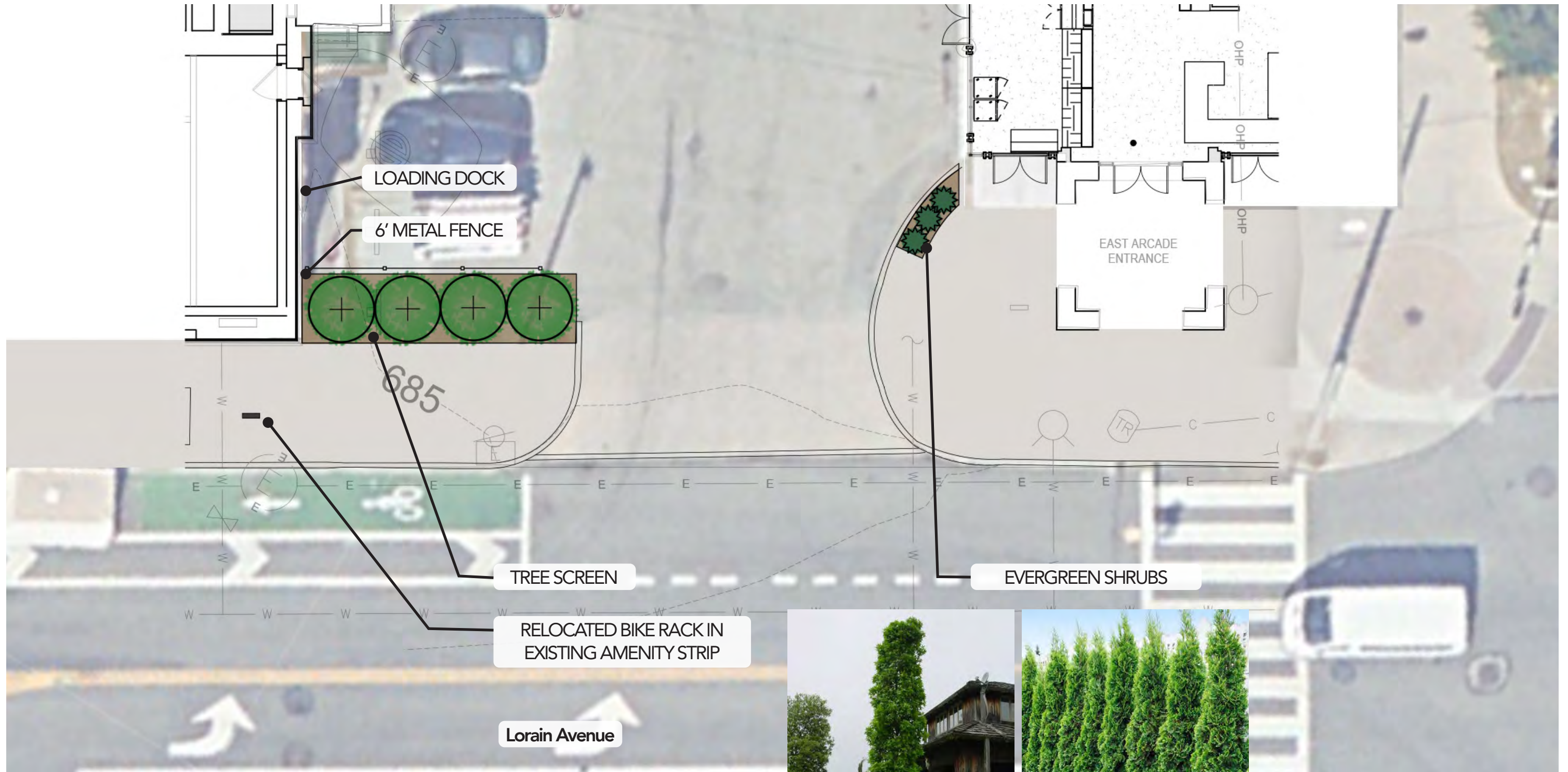


40% Midnight Sky









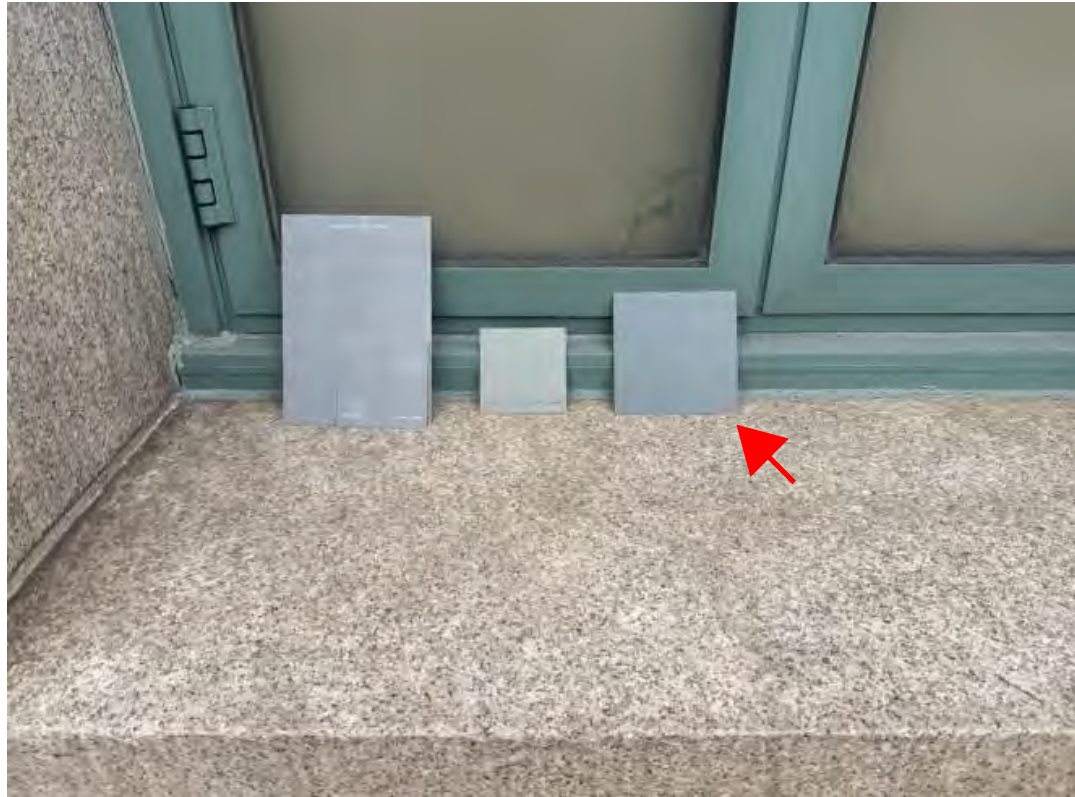
SLENDER SILHOUETTE  
SWEETGUM



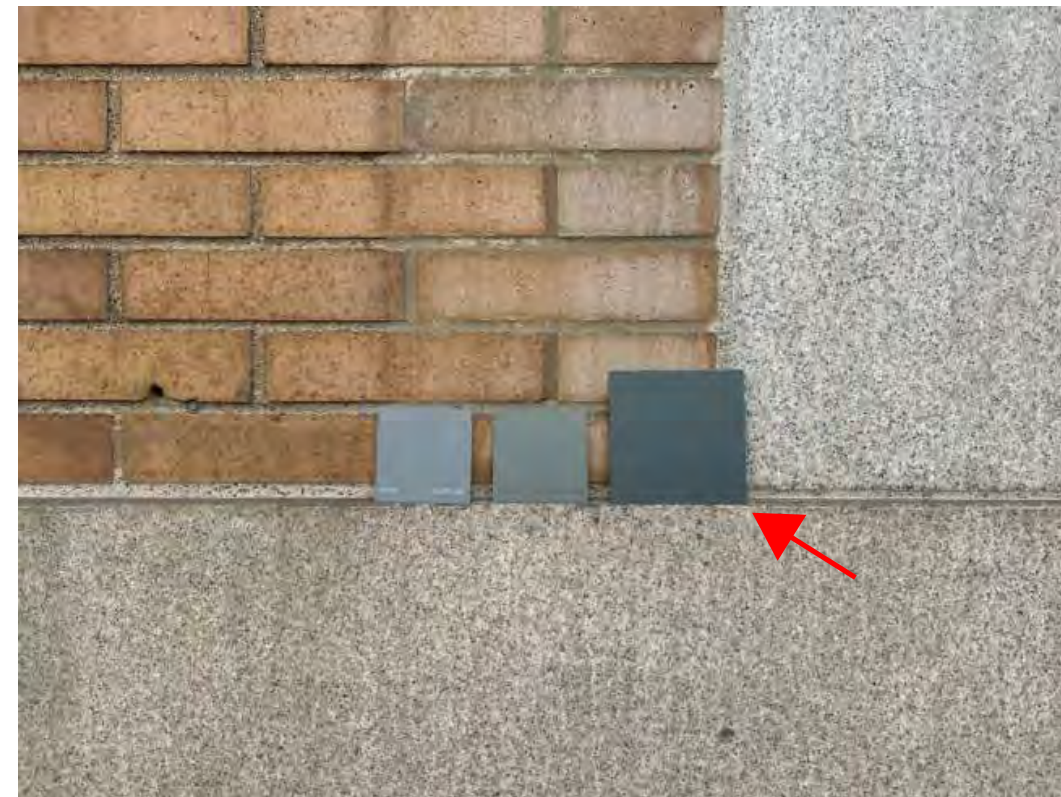
DEGROOT SPIRE  
ARBORVITAE

**LOADING DOCK SCREEN**  
02.11.25  
West Side Market Outdoor Areas





**MARKET HALL | WINDOW FRAME & SILL**



**MARKET HALL | BRICK AND GRANITE BASE**



**ARCADE | BRICK, BASE AND EXISTING GARAGE DOOR**



**ARCADE | BRICK, BASE AND EXISTING GARAGE DOORS**

**\*\*PHOTOS SHOWN HERE REFLECT POSSIBLE ZINC FINISHES FOR CONNECTORS IN CONTEXT ON SITE; RED ARROW INDICATES COLOR AND FINISH THAT DESIGN TEAM AND SHPO PREFER\*\***







August 2022 Color of the Month

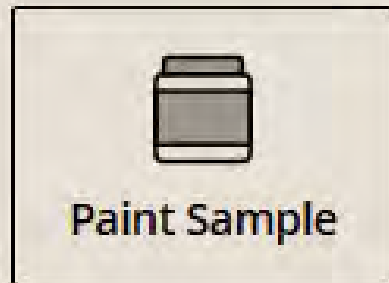
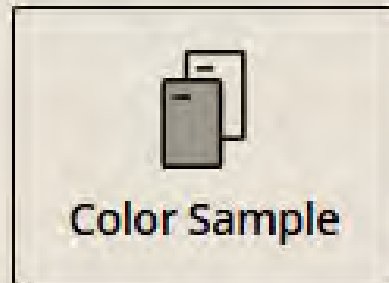
SW 7042

# Shoji White

FULL DETAILS 

When you want it light but cozy, consider this warm, creamy white that borders on greige.

Get this color in a:





**H** Historic Color

SW 2811

# Rookwood Blue Green

FULL DETAILS ^

LRV: 21 ⓘ

RGB: 115 / 132 / 120

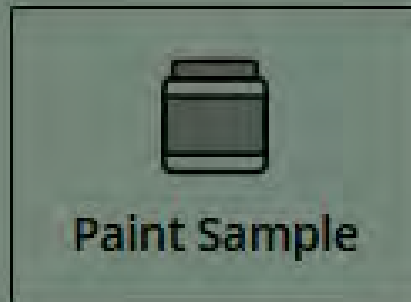
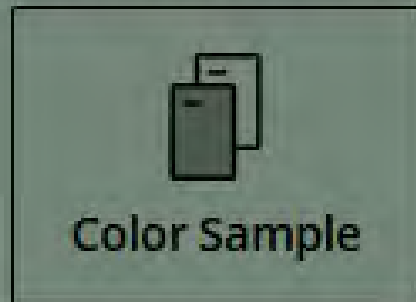
Hex Value: #738478

**Available in:** Interior/Exterior

**Color Collections:** Exterior Historic, Historic (Victorian), Historic Color Scheme 2

**Color Family(s):** Green

Get this color in a:





# DESIGN AND PERFORMANCE VERSATILITY WITH UNMATCHED FABRICATION FLEXIBILITY



## TRIFAB® VERSAGLAZE® 450, 451 & 451T (THERMAL) FRAMING SYSTEMS & TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels.

The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs actual IsoLock® thermal break.



Building  
Legacies



## AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone glazing (SSG) and weatherseal glazing options further expand designers' choice, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

## ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units for efficient handling and installation. (available for all Trifab systems)
- **Shear Block** – for punched openings or continuous runs using tubular verticals with shear blocks to connect horizontal members. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Continuous sill and head receptors are installed with horizontals connected to tubular verticals with shear blocks. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

## FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

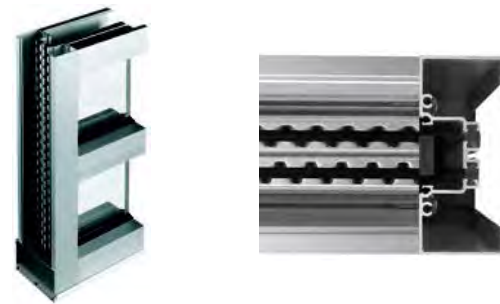


**PERFORMANCE**

Kawneer’s Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.

U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project.

(See the Kawneer Architectural Manual or Kawneer.com for additional information.)

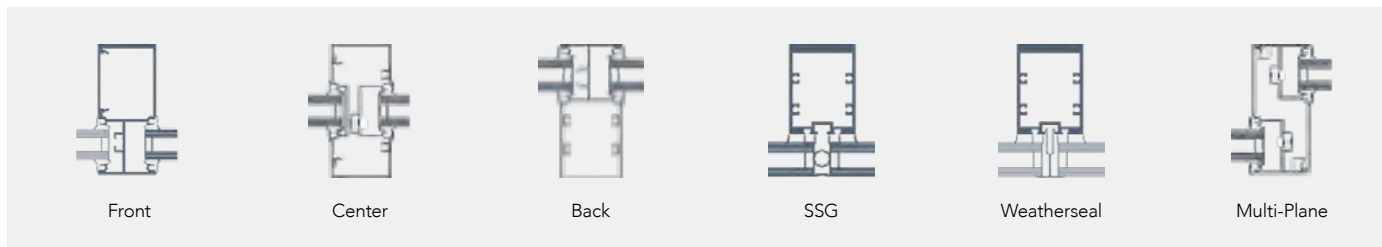
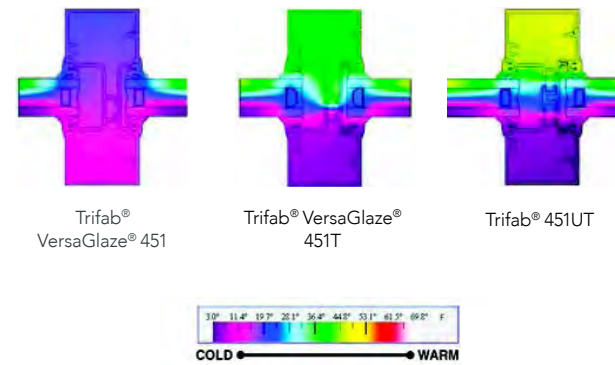


Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

**PERFORMANCE TEST STANDARDS**

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



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Form Number 17-2241.B



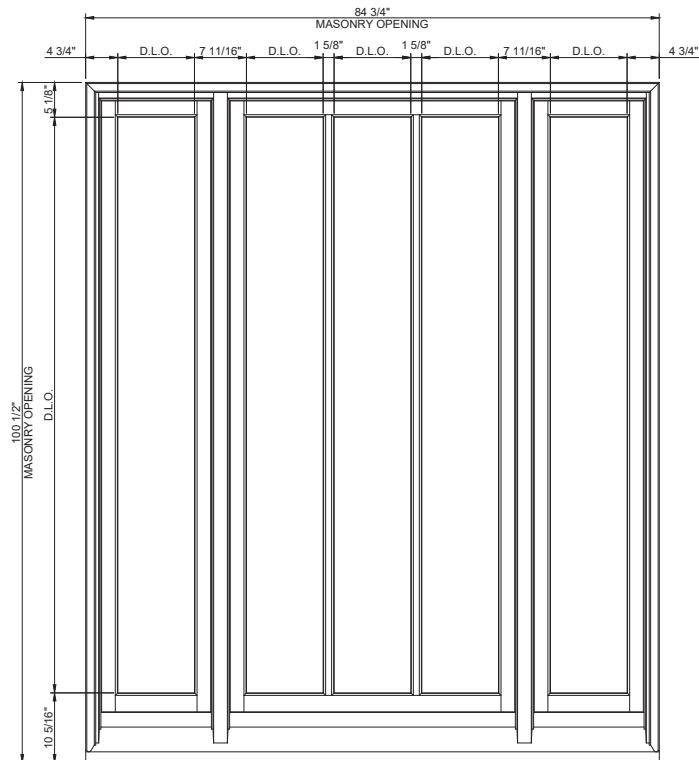
Technology Park/Atlanta  
555 Guthridge Court  
Norcross, GA 30092





RENLITA S-1000 FLOATAWAY GARAGE DOOR

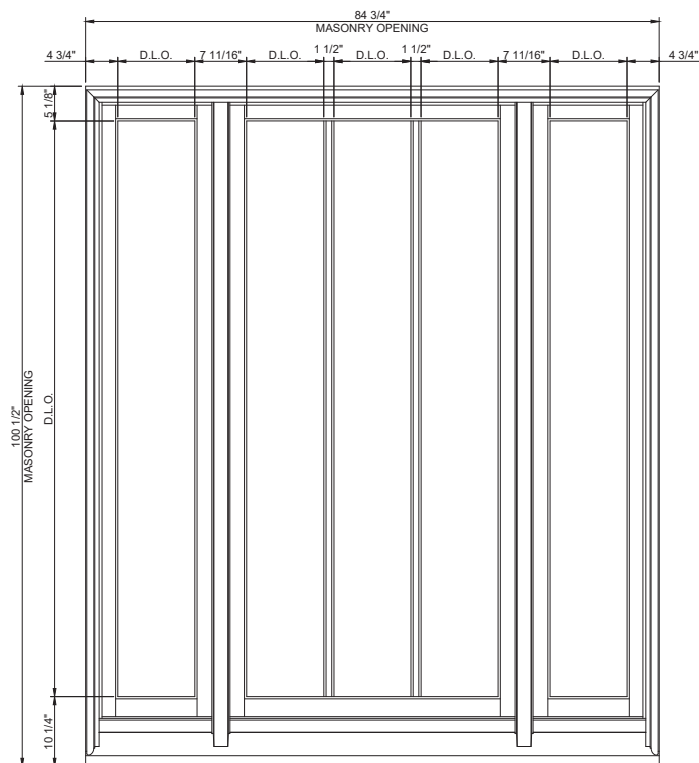




1 ORIGINAL MARKET HALL WINDOW ELEVATION  
A301 SCALE: 1" : 1' 0"



3 ORIGINAL MARKET HALL WINDOW  
A301



2 PROPOSED MARKET HALL WINDOW ELEVATION  
A301 SCALE: 1" : 1' 0"



4 PROPOSED MARKET HALL WINDOW  
A301



JAMIESON-RICCA WINDOWS  
1845 EAST 40TH STREET  
CLEVELAND, OHIO 44103  
www.jamiesonricca.com

WEST SIDE MARKET  
ADDITION AND RENOVATION  
1979 W 25TH STREET  
CLEVELAND, OH 44113

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CHECKED BY GMP  
JOB NUMBER \*\*\*

SHEET TITLE  
WINDOW  
ELEVATIONS

SHEET NUMBER  
A301





JAMIESON-RICCA WINDOWS  
 1845 EAST 40TH STREET  
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 www.jamiesonricca.com

WEST SIDE MARKET  
 ADDITION AND RENOVATION  
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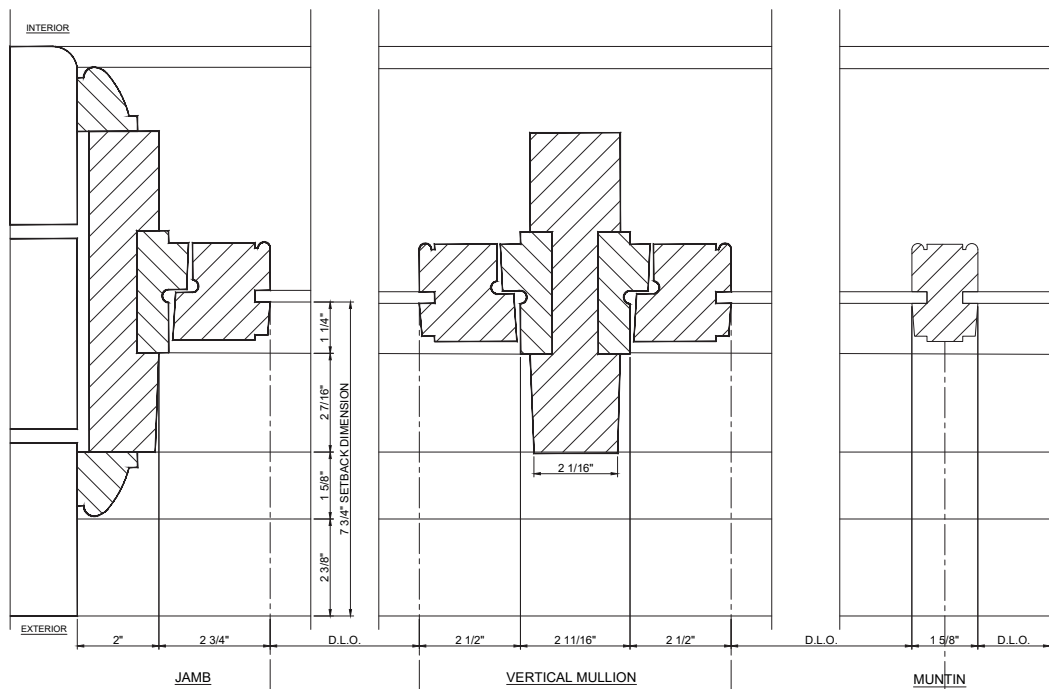
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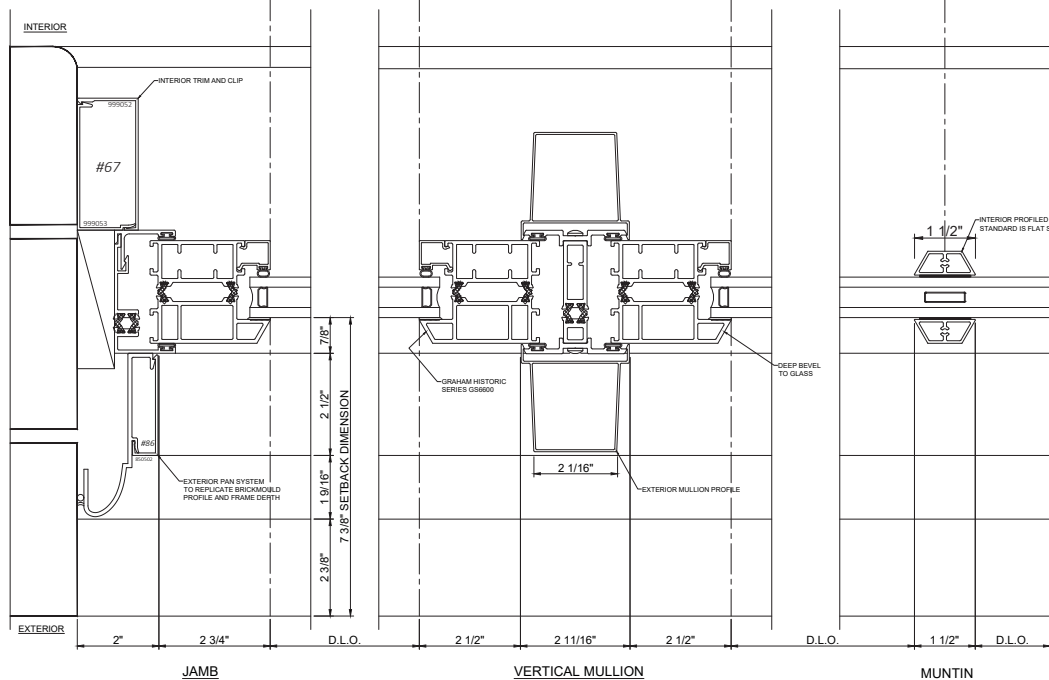
ISSUE DATE 10/11/2024  
 DRAWN BY SM  
 CHECKED BY GMP  
 JOB NUMBER \*\*\*

SHEET TITLE  
**WINDOW  
 DETAILS**

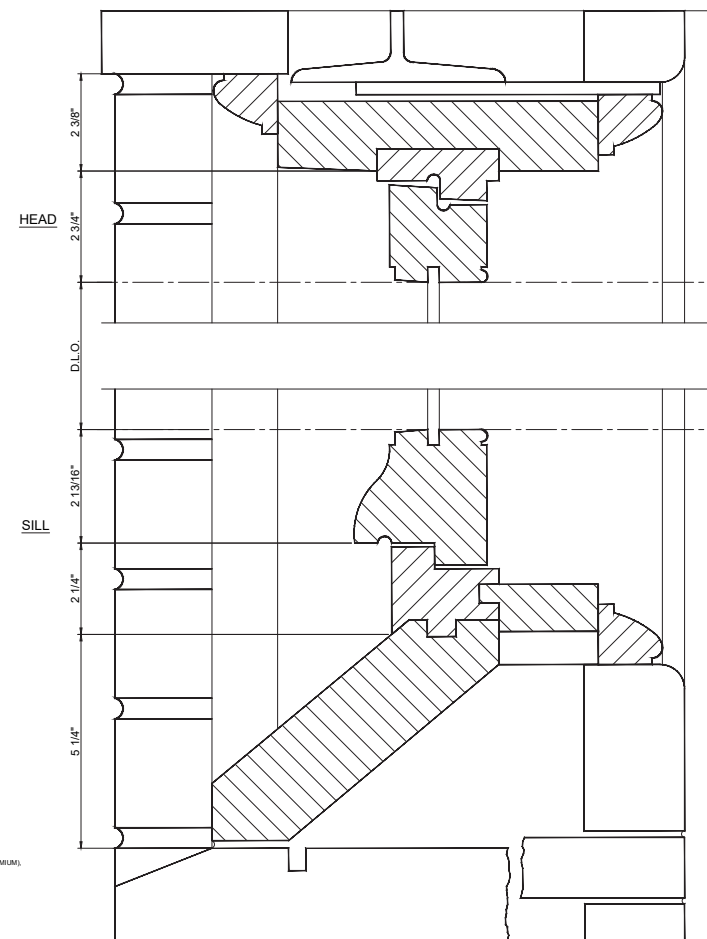
SHEET NUMBER  
**A401**



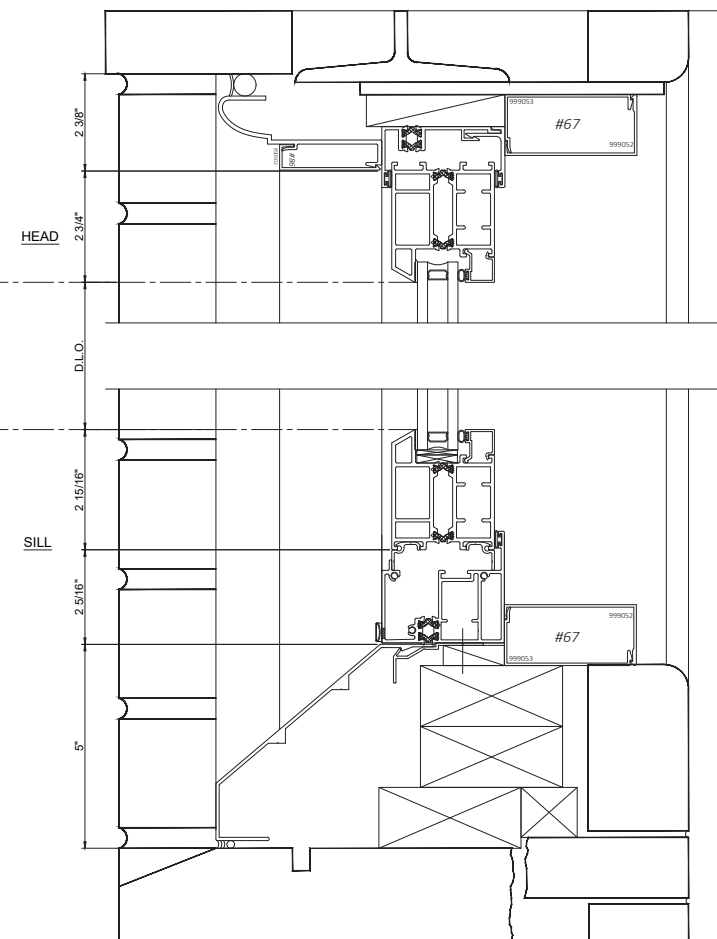
1 ORIGINAL PLAN VIEW  
 A401 SCALE: 6" : 1' 0"



2 PROPOSED PLAN VIEW  
 A401 SCALE: 6" : 1' 0"



3 ORIGINAL SECTION CUT  
 A401 SCALE: 6" : 1' 0"



4 PROPOSED SECTION CUT  
 A401 SCALE: 6" : 1' 0"